



CAROLINA BEACH

Planning and Zoning Meeting Agenda
Thursday, October 12, 2017 @ 6:30 PM
Council Chambers
1121 N. Lake Park Boulevard
Carolina Beach, NC 28428

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AGENDA ITEM

Meeting: Planning and Zoning - 12 Oct 2017

Prepared By: Jeremy Hardison

Department: Planning

August 10, 2017 Minutes

ATTACHMENTS: [P&Z August 10 2017](#)



Final

CAROLINA BEACH
PLANNING AND ZONING MEETING
MINUTES • AUGUST 10, 2017

Council Chambers

Regular Meeting

6:30 PM

1121 N. LAKE PARK BLVD.
CAROLINA BEACH, NC 28428

1. CALL MEETING TO ORDER

Attendee Name	Title	Status	Arrived
Mary Grady		Present	
Greg Reynolds		Absent	
Keith Bloemendaal		Present	
Ked Cottrell		Absent	
Johnie Davis		Absent	
Jerry Kennedy		Absent	
Nan Toppin		Present	

2. APPROVAL OF MINUTES

Commissioner Grady made a motion to approve the minutes. Commissioner LeCompte seconded the motion. All in favor (5-0).

- a. Planning and Zoning - Regular Meeting - Jul 13, 2017 6:30 PM

3. STAFF REPORT ON RECENT COUNCIL MEETING(S)

Mr. Hardison gave a report on the recent Town Council Meeting. Town Council approved the proposed text amendment to allow for automobile repair shops in the Neighborhood Business District by conditional use permit.

4. STAFF REPORT ON PLANNING & DEVELOPMENT ACTIVITIES

Mr. Hardison presented a report on recent activities in the Planning and Development Department.

5. PUBLIC DISCUSSION

- a. Text Amendment: Consider a text amendment to Chapter 40, Article III to amend the dimensional criteria for accessory structures. Applicant: Town of Carolina Beach

(Requested by Abby Lorenzo, Planning and Zoning)

Commissioner Toppin asked if there was a difference between an accessory dwelling and an accessory structure. Mr. Hardison responded that typically you could not have an accessory dwelling. Commissioner Toppin asked about care taker facilities. Mr. Hardison responded that this is a very special case, the structure is not permanent, and required by state law to be allowed.

Commissioner Toppin stated that allowing for care giver accessory buildings is no different than allowing for an accessory dwelling unit.

Chairman Bloemendaal made a motion to open the public hearing.

Joel Macon, PO Box 413, Carolina Beach. Feels the allowable number of plumbing fixtures should be increased or not limited. Does not believe property owners should have to connect accessory buildings to principle structures in order to accommodate additional cooking and bathing facilities. Believes this is an enforcement issue.

Greg Barbour, 130 Myrtle Ave, Kure Beach. Feels having to connect pool house to principle structure will cost an additional, unneeded cost to property owners.

Chairman Bloemendaal made a motion to close. Seconded by Commissioner Grady.

Commissioner Hoffer agrees that the Town should not be regulating what property owners can do on their property. Believes it comes down to enforcement.

Chairman Bloemendaal feels that the use of an accessory building is an enforcement issue.

Commissioner Toppin stated that property owners should have the ability to house relatives on their property if necessary. Asked the other Commissioners their feelings on allowing rental units.

Commissioner Grady said that she is against changes to the current code. Allowing for income units will increase density. Commissioner Grady feels enforcement is difficult.

Commission Toppin understands the desired outcome of prohibiting additional units but does not believe the ordinance establishes this. Does not work for residents wishing to have pool houses.

Commissioner LeCompte stated that three fixtures could still allow for a rentable unit. The limit on plumbing fixtures does not keep someone from creating a rentable unit.

Commissioner Hoffer stated that enforcement is difficult, if not almost impossible.

Mr. Hardison clarified some of the current language that accessory buildings are not to be occupied, meaning they cannot be slept in.

The Commissioners discussed the possibility of allowing for accessory buildings that could be rented as a separate unit. There was discussion on removing the term "occupied" and striking the requirement that an accessory building cannot be used as a dwelling unit.

Mr. Hardison stated that the Fire Department is not in support of accessory buildings being occupied for sleeping.

Commissioner Toppin asked the Commissioners if they thought there were areas in Town where income rentals should be allowed. For instance a rental for a seasonal worker. Chairman Bloemendaal expressed concerns that income rentals were another discussion item.

The Commissioners discussed making a motion to strike the requirements of "not to be occupied" and "not to be used as a dwelling unit", as well as the limitation of three plumbing fixtures.

Commissioner Hoffer inquired about the proposed side setback reduction. There were concerns that larger accessory buildings should be governed by the setbacks of the zoning district and not allowed 5' reduced setbacks.

Chairman Bloemendaal made a motion to recommend the amendment of Chapter 40, Article III Sec. 40-75 Accessory Buildings as proposed by Staff with the following changes: Strike the "not to be occupied" requirement of 40-75 (b)(2); Remove requirement 40-75 (a)(4) "Not to be used as a dwelling unit; Remove requirement 40-75 (b)(3) limiting the allowable number of plumbing fixture within an accessory building; Keep current accessory building setbacks for structures up to 15' in height, and require setbacks of the zoning district to be met for buildings greater than 15' in height. Whereas in accordance with the provisions of the NCGS 160A-383, the Commission does hereby find and determine that the adoption of the following ordinance amendment is consistent with the goals and objectives of the adopted Land Use Plan and other long range plans. The motion was seconded by Commissioner Hoffer. Motion passes (4-1).

6. NON-AGENDA ITEMS

Commissioner Toppin asked if the marina boatyard had been brought into compliance. Mr. Hardison responded that the owner has begun applying for permits which brings him into compliance. He has not recombined the lots but will have to before the Town will issue a permit.

Commissioner Toppin asked if any provisions had been made to bring the duplex in the NB that was nonconforming into compliance. Commissioner Toppin asked staff to address the issue. Commissioner Hoffer stated that there are nonconforming uses and structures in other zoning districts.

Commissioner Bloemendaal requested that staff bring a discussion item to the next Planning and Zoning Commission Meeting.

7. ADJOURNMENT

Commissioner Hoffer made a motion to adjourn. Seconded by Chairman Bloemendaal. All in favor (5-0).

Kimberlee Ward, Town Clerk

Date Approved



AGENDA ITEM

Meeting: Planning and Zoning - 12 Oct 2017

Prepared By: Jeremy Hardison

Department: Planning

Conditional Use Permit: Consider a Conditional Use Permit for a 7 unit Planned Unit Development consisting of single-and two-family dwellings located at 2 & 4 Texas Ave. Applicant: Richard Wallace

BACKGROUND:

The applicant, Richard Wallace, is asking for a Conditional Use Permit (CUP) for a 7-unit Residential Planned Unit Development (PUD) that consist of a pool, three detached single-family homes and two (2) unit townhome buildings at 2 & 4 Texas Ave. A PUD is reviewed under a CUP in the Multi-family (MF) zoning district. The MF zoning district allows for Single-family, two-family and multifamily dwellings. In the MF zoning district that is located on the oceanfront between Alabama Ave and Atlanta Ave. there are 58 single and two-family structures and a total of 300 units that are in Multifamily dwellings and three hotels.

The two parcels at 2 & 4 Texas Ave will be required to be combined into one lot. The total sq. ft. of the property is 30,000 sq. ft. The density for the MF district is 17 units per acre. Based on the sq. ft. of the lot this would give you total of 12 units. The property is in two different floodzones, an AE 12 and VE 15. For the Conditional Use Permit to be recommended for approval the following specific standards and general conditions must be made to the satisfaction of the Commission.

Specific standards. Applicant must make provisions for:

(1) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe;

The applicant is proposing access off of the Texas Ave street end. The ordinance states on all streets which terminate with the ocean berm where dwellings, hotels or motels are located on corner lots which abut the terminated street and the dominant highway or right-of-way, such dwellings, hotels or motels shall have the entrance to such projects for ingress and egress on the dominant street only unless the technical review committee determines the new ingress/egress will not negatively

impact the level of public access. Below are the evaluation criteria that shall be met:

- a. Enhance access by defining additional public parking;
- b. Increase public safety by allowing access on the terminating street;
- c. Include improvements to public access to the ocean and/or soundfront areas.

Texas Ave is currently gravel with one driveway cut on the north side to access 2 Texas Ave. The south side of Texas Ave has three driveway cuts to access two single-family dwellings, and a 4-unit building. Currently the town has provided four parallel spaces, a dune beach crossover access trash can and the temporary bathroom facility. The applicant proposes to pave Texas Ave providing a 24' access aisle with four 90-degree parking spaces, one with an ADA van accessible space and will also be installing two golf cart parking spaces. To accommodate emergency vehicles, the applicant will be removing the existing beach crossover and expanding the parking area to include a marked turnaround area. The new beach access will have a handicap ramp from the handicap space as well as access steps. The temporary bathroom facilities and trash can will be located beside the dune beach crossover. The applicant will also be improving pedestrian access to the beach by installing a crosswalk on S. Lake Park Blvd. and a 4' sidewalk down the north side of the Texas Ave and along S. Lake Park Blvd adjacent to the subject property. Landscaping will be added to Texas Ave.

(2) Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district;

Each unit will have four parking spaces

<i>Units</i>	<i># Bedrooms</i>	<i># required parking spaces</i>	<i>parking spaces provided</i>
<i>Townhomes unit 1,2,3,4</i>	<i>4 per unit</i>	<i>3 per unit</i>	<i>4 per unit</i>
<i>Single-family 5, 6, 7</i>	<i>6 per unit</i>	<i>4 per unit</i>	<i>4 per unit</i>

(3) Refuse and service area, with particular reference to the items in (1) and (2) above;

The applicant is proposing roll-away trash containers.

(4) Utilities, with reference to locations, availability, and compatibility; There is currently a fire hydrant on the west side of S. Lake Park Blvd. There will be upgrades to the existing 2" water line along Texas Ave. The town requires that this type of project to pay a stormwater impact fee.

The stormwater runoff will be diverted to Texas Ave and directed to S. Lake Park Blvd into the stormwater system.

(5) Screening and buffering with reference to type, dimensions, and character;

The applicant will be providing a 10' landscape buffer along the sides of the property. The applicant is asking for a landscape waiver on the south side of the property where the pool will be located.

(6) Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;

A subdivision sign is proposed at the entrance of the property.

(7) Required yards and other open space and preservation of existing trees and other attractive natural features of the land;

The required setbacks for the MF district is 10' front, 7.5' side, 12.5' corner side and 10' rear. The applicant is meeting the setback requirements except for the corner side yard setback where 10' is proposed from the required 12.5' setback. Planned Unit Developments allow for flexibility in design for cluster development for a reduction in setback requirements of up to 10' from the right-of-way with board approval. There are currently no trees on the lot to preserve, but they will be planting trees on the property and in the right-of-way.

General conditions.

(1) That the use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved by the issuance of the C.U.P.;

The modification will have to meet all federal, state and local safety and regulatory requirements.

(2) That the use meets all required conditions and specifications;

The project meets the required conditions and specifications except for the required side yard setback and landscaping requirement on the south side of the property.

(3) That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and

The project will be reviewed in accordance with all local, state, and federal regulations. The project is consistent with the density in the area and with the adjacent single-family and two-family dwellings.

(4) That the location and character of the use if developed according to the plan as submitted and approved will be in harmony with the area in which it is to be located and in general conformity with the Town Land

Use Plan and Policies.

The project is in general conformity with the 2007 landuse plan and is consistent with the zoning ordinance. The predominant housing type is multi-family, with single-family and duplex. The typical density is 10 units per acre. The area is 80% residential and 20% commercial. The Future Characteristics of this area is a continued multi-family use with single-family and duplex units with 17 units per acre.

The adjacent uses on the north side is a single-family dwelling on a 50' lot. On the South side there is currently 10 units consisting of single-family and multi-family dwellings. Across the street is a 25 unit condo project.

Neighborhood Contact

Town Notifications	Planning Commission	Town Council
Signs Posted	September 27, 2017	September 27, 2017
Adjacent letters	September 25, 2017	
Advertisement Date	October 4, and	
	October 11, 2017	

ACTION REQUESTED:

Approval Statement: The use meets all required conditions and specifications. The location and character of the use if developed according to the plan as submitted and approved will be in harmony with the area in which it is to be located and in general conformity with the town Land Use Plan and policies.

Approve or deny the conditional use permit, considering the following:

Approval must be consistent with the findings in the Zoning Ordinance as follows:

- (1) That the use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved by issuance of the C.U.P.
- (2) That the use meets all required conditions and specifications;
- (3) That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and
- (4) That the location and character of the use if developed according to the plan as submitted and approved will be in harmony with the area in which it is to be located and in general conformity with the town Land Use Plan and policies.

Denial should be directly related to one or more of the following findings.

Reasons for denial must be specifically stated by the Council:

- (1) That the use will materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved by issuance of the C.U.P.
- (2) That the use does not meet all required conditions and specifications;
- (3) That the use will substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and
- (4) That the location and character of the use if developed according to the plan as submitted and approved will not be in harmony with the area in which it is to be located and in general conformity with the town Land Use Plan and policies

**COMMITTEE
RECOMMENDATION:**

The Technical Review Committee reviewed this proposal at its September 18, 2017 scheduled meeting. TRC recommended approval of the project with the Texas Ave improvements and waving the south side landscaping and reducing the side yard setback from 12.5' to 10'.

ATTACHMENTS:

[Application](#)
[CUP Texas Ave GRANT ORDER](#)
[Narative](#)
[Texas Ave House Design 8.18.17 \(1\)](#)
[Texas Ave Townhouses 8.25.17](#)
[Windward Isles \(9-21-17\)](#)



**Conditional Use Permit
TOWN OF CAROLINA BEACH, N.C.**

Permit Number: 17-C06

Each application must be printed or typewritten and have all information answered. It is strongly recommended that the applicant set up a meeting with Planning Staff prior to the submission deadline to ensure the application is complete. The Town of Carolina Beach requires a licensed attorney to appear in a representative capacity to advocate the legal position of another person, firm, or corporation who is the applicant/owner of record.

The Planning Department, Planning and Zoning Commission and/or Town Council reserves the right to require additional information if needed to assure that the use in its proposed location will be harmonious with the area in which it is proposed to be located and in accordance with the Code of Ordinances of the Town of Carolina Beach.

Major and minor projects; application fees. The owner or owners, or their duly authorized agent, of the property included in the application for a conditional use permit shall submit a complete application and supplemental information to the Zoning Administrator. A fee in accordance with the Town's adopted schedule of fees, payable to the Town of Carolina Beach, must accompany each application. For the purposes of determining the fee, the Zoning Administrator shall categorize each such Conditional Use Permit Application as either "major" or "minor", depending upon the complexity of review. Generally, Planned Residential (over 3 units), Mixed Uses, Business Developments, and similarly complex projects shall be categorized as "major", while projects such as bed and breakfast inns, small day care services, etc. shall be categorized as "minor".

Major Conditional Use Permit = \$ 800.00
 Minor Conditional Use Permit = \$ 350.00

****Fees are nonrefundable after item has been sent for advertisement****

This petition will be scheduled for the next possible regular Planning and Zoning Commission meeting. The applicant or a representative should be present at the meeting to answer any questions the Commission may have. Planning and Zoning Commission meetings are held on the second (2nd) Thursday of each month at 6:30 P.M. in the Council Room at the Municipal Administration Building, 1121 N. Lake Park Boulevard, Carolina Beach, NC 28428. Applicants will be informed of any changes in date, time, or location of meetings. Applications and supplementary time for processing and advertisement are required by the General Statutes of North Carolina.

Project Name/Title: WINDWARD ISLES
 Developer & RICHARD WALLACE BUILDER AKA
 Applicant Name: RICHARD WALLACE

Applicant Mailing Address: PO Box 480 KURE BEACH NC 28449
Street Address City State Zip

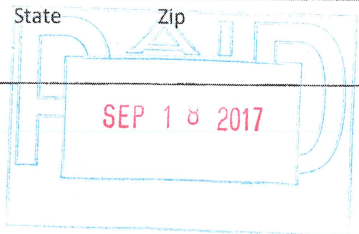
Applicant Phone Number: 910-599-3163 mobile/work/home (circle one): 910-458-3658 mobile/work/home (circle one):

Applicant Email Address: RICHARD @ RICHARD WALLACE BUILDER . COM

Property Owner Name: DONALD V. DeBORD IRAs

Property Owner Mailing Address: 28531 CALABRIA CT UNIT 202 NAPLES FL 34110
Street Address City State Zip

Address of Requested Site: 2 Texas Avenue + 4 Texas Avenue



Current Land Use: RESIDENTIAL Requested Land Use: RESIDENTIAL
Tax Parcel Number: RO9018-011-010-000 AND RO9018-011-009-000
Acreage &/or square footage: 30,000 SF Existing Zone: MF
Owner Signature: Richard Wallace agent for Donald V. DeBord Date: 8/28/2017
Owner Printed Name: RICHARD WALLACE AGENT FOR DONALD V. DeBORD

Check the box beside each item verifying that the item has been submitted with this application

Written Application

All zoning permits and/or site plans submitted for review and approval shall be accompanied by a written application containing the following information:

Yes No N/A

- The applicant's, mailing address, phone number, and email address.
- The property owner's name, address and phone number if different than the applicant.
- The *developer's* name, address, and phone number, if different than the applicant.
- If the applicant is different than the property owner of record, a signed statement that the applicant is officially acting on the owner's behalf.
- The address and parcel identification number of the property.
- Proof of *lot* recordation (i.e. map book & pg #; *lot* and block #; and/or deed book and page#).

Site Plan/Drawings

The following site plans shall always be certified and stamped by a licensed professional. It is recommended that all site plans be certified by a licensed professional duly registered by the State of North Carolina (i.e. engineer, architect, or land surveyor).

Yes No N/A

- Conditional Use Permits*
- New commercial or industrial *development*
- Change to a more intense use (i.e. increase in occupancy) for *Multi family/Commercial* uses
- New residential *development* with three or more units

Site Plan Criteria

All site plans shall include the following:

Yes No N/A

- The name, address, and phone number of the professional(s) responsible for preparing the plan if different than the applicant.
- Engineers scale 1 inch = 40 ft or larger
- Title block or brief description of project including all proposed uses
- Date
- North arrow
- Property and zoning boundaries
- The square footage of the site
- Lot coverage* (buildings, decks, steps)
- Location of all existing and proposed *structures* and the setbacks from property lines of all affected *structures* to remain on-site
- Design of driveways and parking
- Adjacent right-of-ways labeled with the street name and right of way width
- Location of all existing and/or proposed easements

Additional information or data as determined necessary by town staff and/or other reviewing agencies including but not limited to the following may be required:

- | <u>Yes</u> | <u>No</u> | <u>N/A</u> | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location and design of refuse facilities |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Approximate locations and sizes of all existing and proposed <i>utilities</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Existing and/or proposed fire hydrants (showing distances) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent properties with owners' information and approximate location of structures |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Distances between all <i>buildings</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Number of <i>stories</i> and height of all <i>structures</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Locations of all entrances and exits to all <i>structures</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Calculate the <i>gross floor area</i> with each room labeled (i.e. kitchen, bedroom, bathroom) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be use |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of flood zones and finished floor elevations |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | CAMA Areas of Environmental Concern (AEC) and CAMA setbacks |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Delineation of <i>natural features</i> and wetlands with existing and proposed topography with a maximum of two foot contour intervals |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Proposed landscaping including percentages of <i>open space</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Stormwater management systems |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Cross-sectional details of all streets, roads, ditches, and <i>parking lot</i> improvements |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <i>Building</i> construction and occupancy type(s) per the building code |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Location of fire department connection(s) for standpipes |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Turning radii, turnarounds, access grades, height of overhead obstructions |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dimensions and locations of all <i>signs</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A vicinity map drawn with north indicated |

- I have provided a scaled electronic version of each required drawing
- I have folded all plans to 8 1/2" x 11" size and am prepared to pay the application fee today

I have checked off each of the above boxes and attest that the required information noted on this application checklist is submitted for my project. I understand that if my application is incomplete, that my project may be delayed by one month unless I am able to retrieve the missing portion(s) by the submission deadline.

R. Wallace
Applicant Signature

8/12/2017
Date

August 21, 2017

Richard Wallace is the agent for my two IRAs,
Pensco Trust Company Custodian FBO Donald V. DeBord
IRA and Roth IRA and he is officially acting on
my behalf.

Donald V. DeBord

Donald V. DeBord

28531 Calabria Ct 202

Naples, Fl. 34110

tel 804.317.8772

email: dondebord@gmail.com

PROPOSED GRANT ORDER

Dan Wilcox
Mayor

Steve Shuttleworth
Council Member

Gary Doetsch
Council Member



LeAnn Pierce
Mayor Pro Tem

Tom Bridges
Council Member

Michael Cramer
Town Manager

Town of Carolina Beach
1121 N. Lake Park Boulevard
Carolina Beach, North Carolina 28428
TEL: (910) 458-2999
FAX: (910) 458-2997

ORDER GRANTING A CONDITONAL USE PERMIT # 17-C06

Applicant: Richard Wallace
Location: 2 & 4 Texas Ave (PID's 303906.38.5578.000, 303906.38.6557.000).

Planned Unit Development Windward Isles

The Town Council of the Town of Carolina Beach, having held a public hearing on November 14, 2017 to consider approving a Conditional Use Permit for a 7 unit Planned Unit Development and where sworn testimony was heard from the following persons: Senior Planner Jeremy Hardison, Assistant Town Manager Ed Parvin, Applicant Richard Wallace, Applicant's Attorney Ned Barnes, and Applicants Engineer Jeff Malpass. The following uncontested facts were presented:

BASED ON THE FOREGOING FINDINGS OF FACT and competent, substantial and material evidence presented at the hearing, the Town Council makes the following conclusion as required by Article 14 of the Zoning Ordinance of the Town of Carolina Beach:

It is the Town Council's conclusion that the proposed use has satisfactorily addressed the following seven (7) Specific Standards:

Specific standards. Applicant must make provisions for:

Specific standards. Applicant must make provisions for:

- (1) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe;

The applicant is proposing access off of the Texas Ave street end. The ordinance states on all streets which terminate with the ocean berm where dwellings, hotels or motels are located on corner lots which abut the terminated street and the dominant highway or right-of-way, such dwellings, hotels or motels shall have the entrance to such projects for ingress and egress on the dominant street only unless the technical review committee determines the new ingress/egress will not negatively impact the level of public access.

Below are the evaluation criteria that shall be met:

- a. Enhance access by defining additional public parking;
- b. Increase public safety by allowing access on the terminating street;
- c. Include improvements to public access to the ocean and/or soundfront areas.

Texas Ave is currently gravel with one driveway cut on the north side to access 2 Texas Ave. The south side of Texas Ave has three driveway cuts to access two single-family dwellings, and a 4-unit building. Currently the town has provided four parallel spaces, a dune beach crossover access trash can and the temporary bathroom facility. The applicant proposes to pave Texas Ave providing a 24' access aisle with four 90-degree parking spaces, one with an ADA van accessible space and will also be installing two golf cart parking spaces. To accommodate emergency vehicles, the applicant will be removing the existing beach crossover and expanding the parking area to include a marked turnaround area. The new beach access will have a handicap ramp from the handicap space as well as access steps. The temporary bathroom facilities and trash can will be located beside the dune beach crossover. The applicant will also be improving pedestrian access to the beach by installing a crosswalk on S. Lake Park Blvd. and a 4' sidewalk down the north side of the Texas Ave and along S. Lake Park Blvd adjacent to the subject property. Landscaping will be added to Texas Ave.

(2) Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district;

Each unit will have four parking spaces

<i>Units</i>	<i># Bedrooms</i>	<i># required parking spaces</i>	<i>parking spaces provided</i>
<i>Townhomes unit 1,2,3,4</i>	<i>4 per unit</i>	<i>3 per unit</i>	<i>4 per unit</i>
<i>Single-family 5, 6, 7</i>	<i>6 per unit</i>	<i>4 per unit</i>	<i>4 per unit</i>

(3) Refuse and service area, with particular reference to the items in (1) and (2) above;

The applicant is proposing roll-away trash containers.

(4) Utilities, with reference to locations, availability, and compatibility;

There is currently a fire hydrant on the west side of S. Lake Park Blvd. There will be upgrades to the existing 2" water line along Texas Ave. The town requires that this type of project to pay a stormwater impact fee. The stormwater runoff will be diverted to Texas Ave and directed to S. Lake Park Blvd into the stormwater system.

(5) Screening and buffering with reference to type, dimensions, and character;

The applicant will be providing a 10' landscape buffer along the sides of the property. The applicant is asking for a landscape waiver on the south side of the property where the pool will be located.

(6) Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;

A subdivision sign is proposed at the entrance of the property.

(7) Required yards and other open space and preservation of existing trees and other attractive natural features of the land;

The required setbacks for the MF district is 10' front, 7.5' side, 12.5' corner side and 10' rear. The applicant is meeting the setback requirements except for the corner side yard setback where 10' is proposed from the required 12.5' setback. Planned Unit Developments allow for flexibility in design for cluster development for a reduction in setback requirements of up to 10' from the right-of-way with board approval. There are currently no trees on the lot to preserve, but they will be planting trees on the property and in the right-of-way.

General conditions.

(1) That the use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved by the issuance of the C.U.P.;

The modification will have to meet all federal, state and local safety and regulatory requirements.

(2) That the use meets all required conditions and specifications;

The project meets the required conditions and specifications except for the required side yard setback and landscaping requirement on the south side of the property.

(3) That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and

The project will be reviewed in accordance with all local, state, and federal regulations. The project is consistent with the density in the area and with the adjacent single-family and two-family dwellings.

(4) That the location and character of the use if developed according to the plan as submitted and approved will be in harmony with the area in which it is to be located and in general conformity with the Town Land Use Plan and Policies.

The project is in general conformity with the 2007 landuse plan and is consistent with the zoning ordinance. The predominant housing type is multi-family, with single-family and duplex. The typical density is 10 units per acre. The area is 80% residential and 20% commercial. The Future Characteristics of this area is a continued multi-family use with single-family and duplex units with 17 units per acre.

The adjacent uses on the north side is a single-family dwelling on a 50' lot. On the South side there is currently 10 units consisting of single-family and multi-family dwellings. Across the street is a 25 unit condo project.

THEREFORE, because the Town Council concludes that all general and specific conditions precedent to issuance of a Conditional Use Permit have been satisfied, **IT IS ORDERED** that the application for the issuance of a Conditional Use Permit by **the Town of Carolina Beach** be **GRANTED**, subject to the following conditions:

1. All permits and approval letters/final inspections required by all Federal, State, and Local Agencies must be applied for within 30 days from CUP approval and final approvals submitted to the Town of Carolina Beach Planning Department prior to issuance of a building permit.
2. The site plan corresponding to this approval was designed by Malpass Engineering dated 9/21/17.
3. The Conditional Use Permit was approved on 11/14/2017. The expiration date will be 11/14/2019.
4. A Type B landscaping buffer is required. A waiver was granted for the southside property where the pool is located
5. A combination plat shall be recorded before issuance of a building/zoning permit.
6. Outdoor artificial lighting fixtures shall be designed and positioned so that the point source of light from a light fixture is not directly visible from adjacent properties and/or rights-of-way.
7. All improvements to public and private areas shall be completed per approved plans prior to certificate of occupancy.
8. Paving of the Town parking lot shall occur in the off season in order to allow the lot to be available for public parking in the summer.

Ordered this 14th day of November, 2017

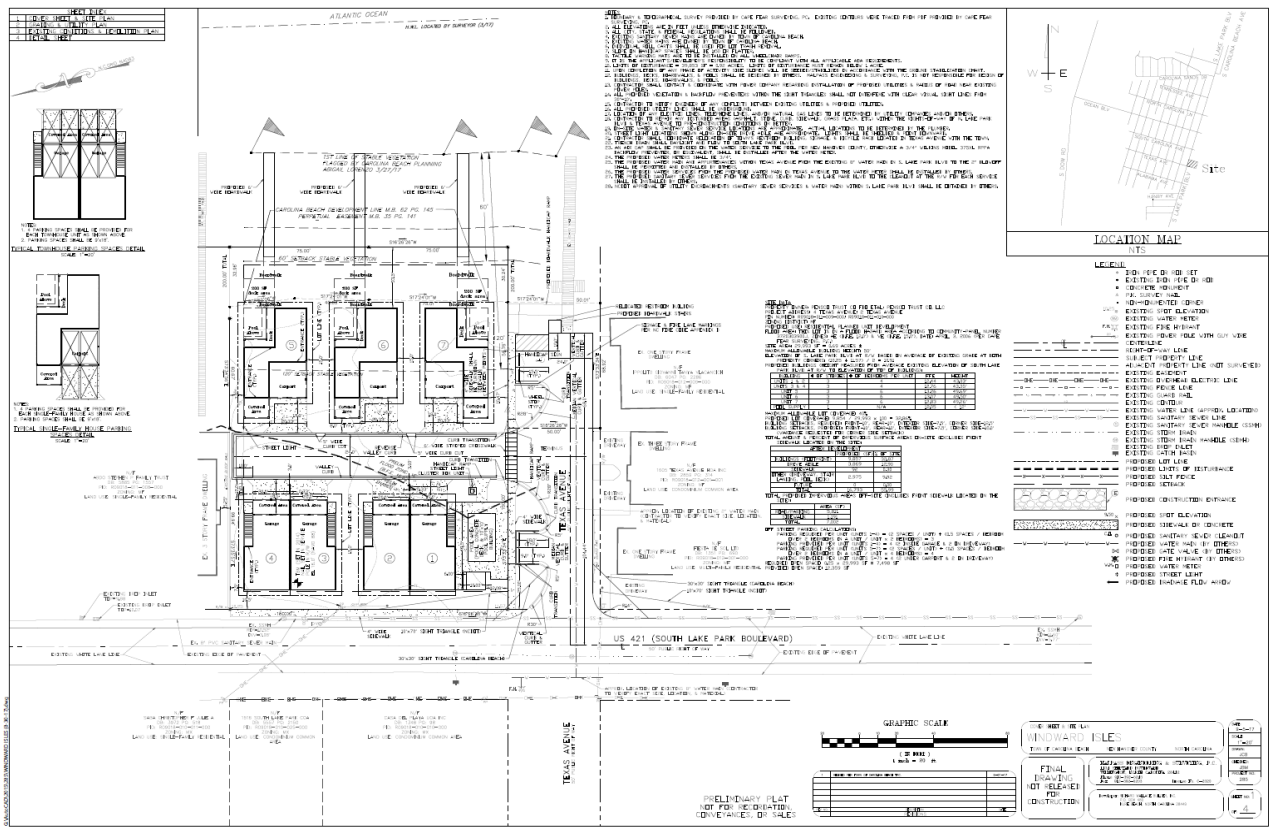
Dan Wilcox, Mayor

Date

ATTEST:

Kimberlee Ward, Town Clerk

Date



Malpass Engineering & Surveying, P.C.
1134 Shipyard Blvd.
Wilmington, NC 28412
Phone: 910-392-5243
Fax: 910-392-5203
License No. C-2320

September 6, 2017

To: Ed Parvin
Planning Director/Assistant Town Manager

Re: Windward Isles

We are providing a site plan and application for Windward Isles. An application with an original signature, fifteen sets of the site plan, fifteen copies of the landscape plan, fifteen copies of building plan information provided by the Architect, and a disc with a PDF of the above mentioned plans are provided.

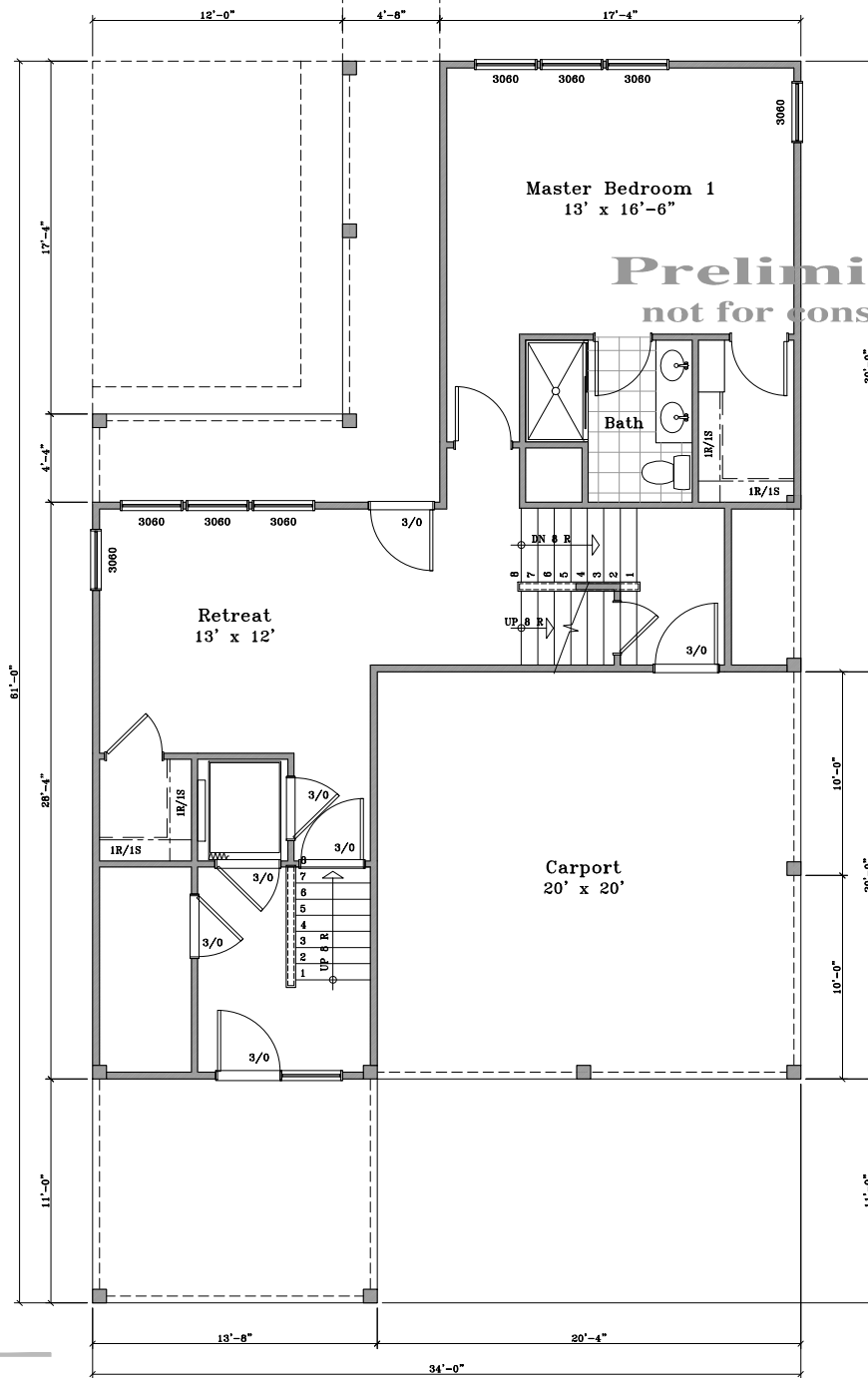
The proposed use of the site is a residential planned unit development with seven units. Frontage sidewalk along S. Lake Park Blvd is proposed. The limits of disturbance is to remain below one acre. The site will be served by water and sanitary sewer services. The following improvements are proposed within Texas Avenue: provide asphalt pavement with four perpendicular parking spaces (1 handicap space & 3 regular spaces), provide frontage sidewalk on the north side of Texas Avenue, provide handicap ramp to existing boardwalk, and relocate the Town's restroom building, sign, & bicycle rack.

Also, we are requesting two waivers. We are requesting a waiver to the 12.5' required corner lot setback along Texas Avenue and a waiver to the 10' buffer (landscaped) on the northern property line and along Texas Avenue adjacent to the pool area. A 10.47' setback is provided on the plan along Texas Avenue. A 7.5' setback is provided along the northern property line which allows for a 7.5' wide landscaping area.

Thanks,

Justin C. Bishop, P.E.

Texas Avenue Project Single Family Homes

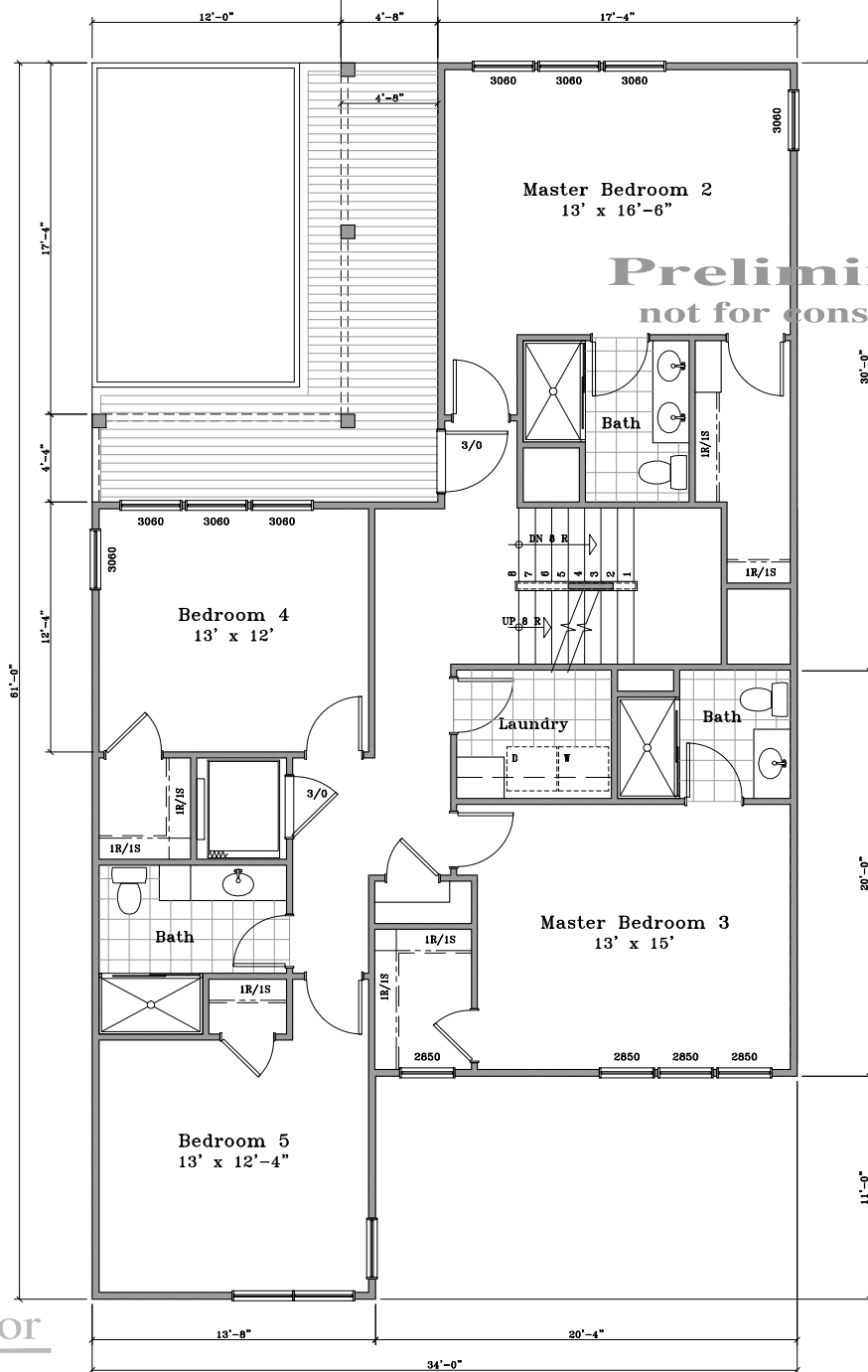


First Floor

1/8" = 1'-0"

18 August 2017

Texas Avenue Project Single Family Homes

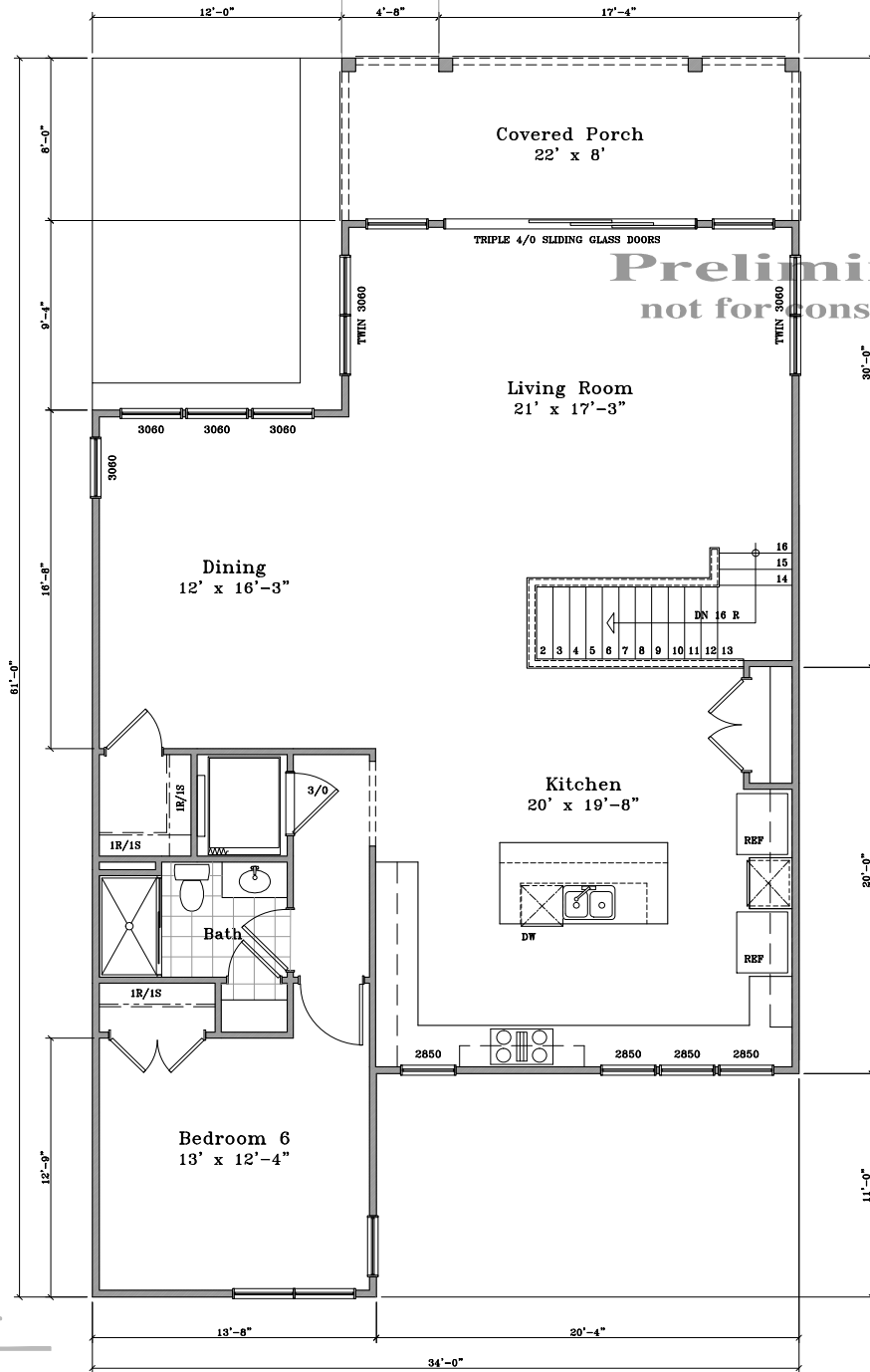


Preliminary
not for construction

Second Floor
1/8" = 1'-0"

18 August 2017

Texas Avenue Project Single Family Homes



Preliminary
not for construction

Third Floor

1/8" = 1'-0"

18 August 2017

Texas Avenue Project Single Family Homes



Front Elevation

1/8" = 1'-0"

18 August 2017

Texas Avenue Project Single Family Homes



Beach Elevation

1/8" = 1'-0"

18 August 2017



Left Side Elevation

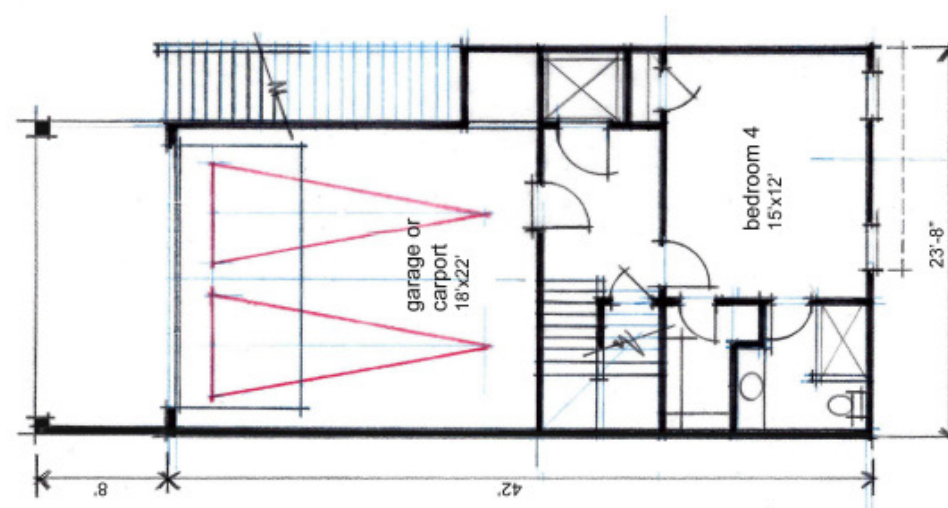
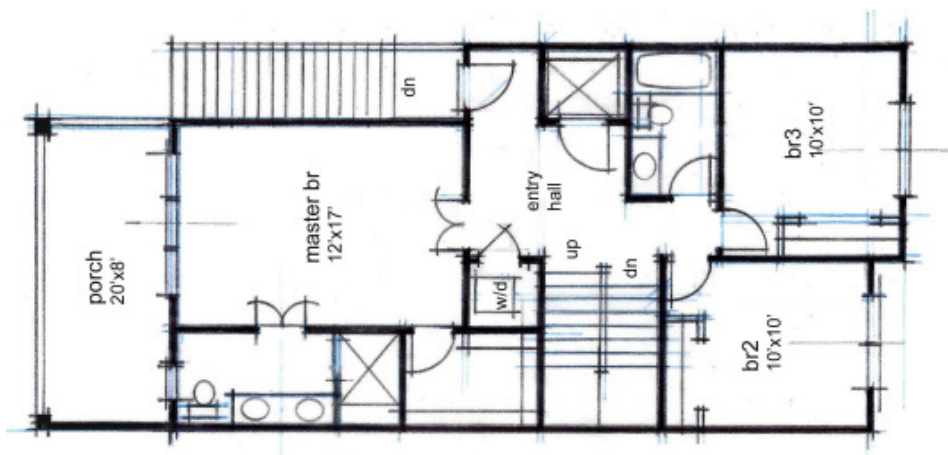
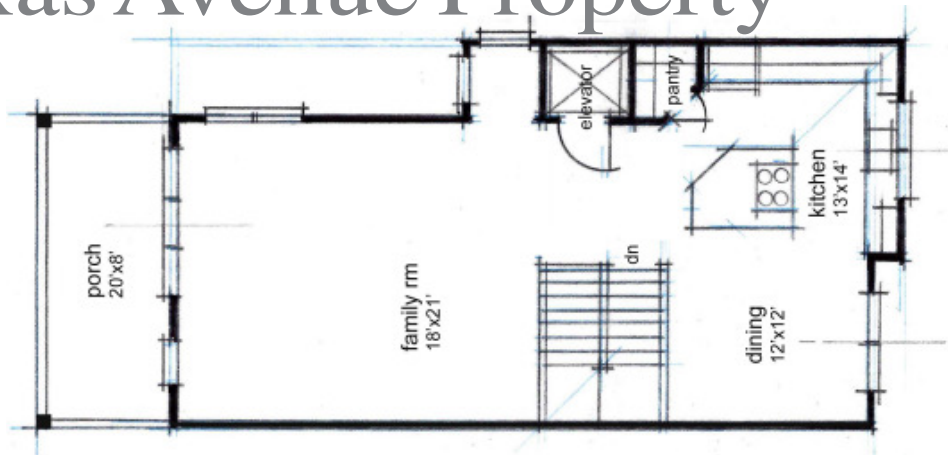
1" = 10'



Right Side Elevation

18 August 2017

Texas Avenue Property

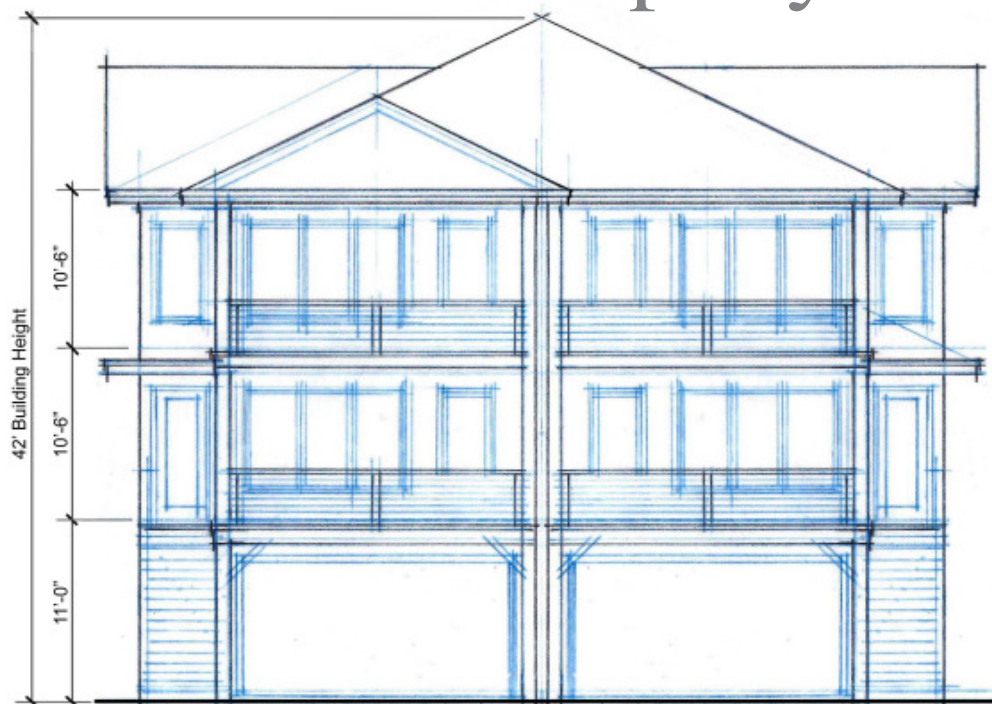


Townhouse Scheme One

Scale: 1" = 10'

25 August 2017

Texas Avenue Property



Front Elevation



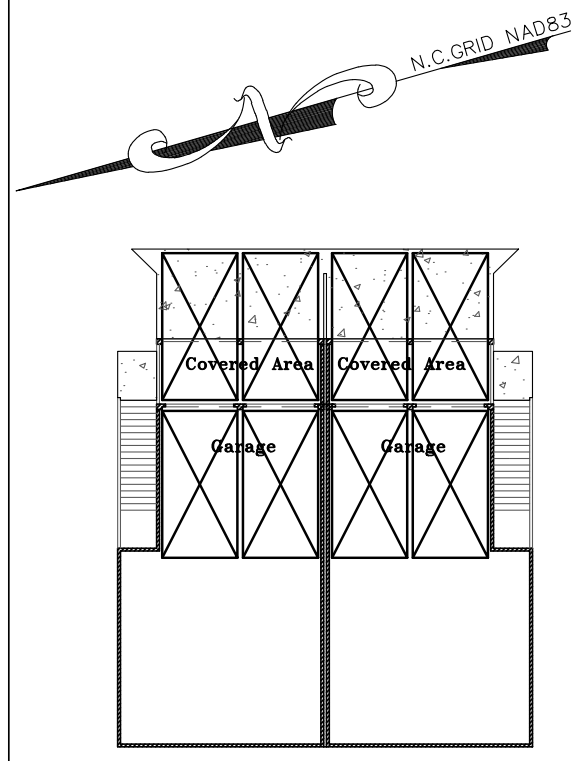
Left Side Elevation

Townhouse Scheme One

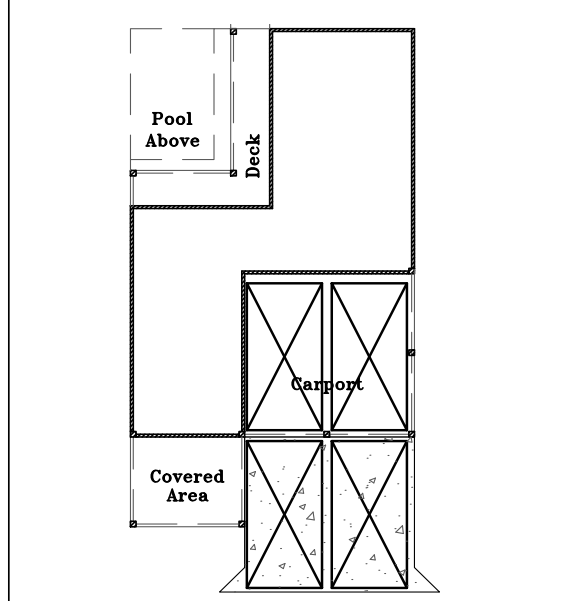
Scale: 1" = 10'

25 August 2017

SHEET INDEX	
1	COVER SHEET & SITE PLAN
2	GRADING & UTILITY PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	DETAIL SHEET



NOTES:
1. 4 PARKING SPACES SHALL BE PROVIDED FOR EACH TOWNHOUSE UNIT AS SHOWN ABOVE.
2. PARKING SPACES SHALL BE 9'x18'.
TYPICAL TOWNHOUSE PARKING SPACES DETAIL
SCALE: 1"=20'



NOTES:
1. 4 PARKING SPACES SHALL BE PROVIDED FOR EACH SINGLE-FAMILY HOUSE AS SHOWN ABOVE.
2. PARKING SPACES SHALL BE 9'x18'.
TYPICAL SINGLE-FAMILY HOUSE PARKING SPACES DETAIL
SCALE: 1"=20'

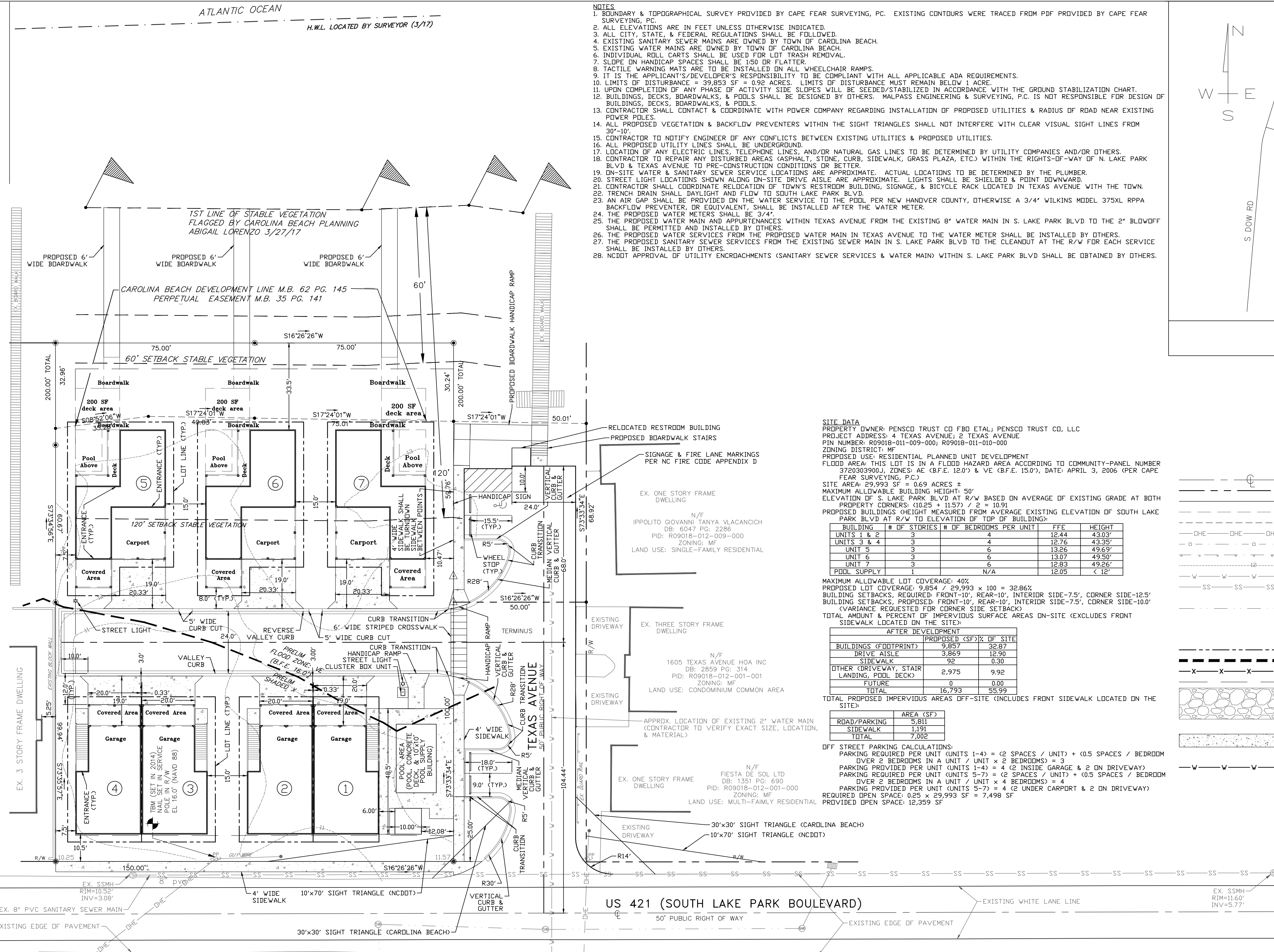
N/F
ABDO STEPHEN P FAMILY TRUST
DB: 5885 PC: 1557
PID: R09018-01-008-000
ZONING: MF
LAND USE: SINGLE-FAMILY RESIDENTIAL

EXISTING DROP INLET
TOP=9.88
EXISTING DROP INLET
TOP=10.07
EXISTING WHITE LANE LINE
EX. 8" PVC SANITARY SEWER MAIN
EXISTING EDGE OF PAVEMENT

N/F
SABA CHRISTOPHER F JULIE A
DB: 3972 PC: 518
PID: R09018-01-011-000
ZONING: MX
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
1516 SOUTH LAKE PARK COA
DB: 5557 PC: 2150
PID: R09018-01-009-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

N/F
CASA DEL PLAYA UOA INC
DB: 1348 PC: 98
PID: R09018-01-010-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA



- NOTES:
- BOUNDARY & TOPOGRAPHICAL SURVEY PROVIDED BY CAPE FEAR SURVEYING, P.C. EXISTING CONTOURS WERE TRACED FROM PDF PROVIDED BY CAPE FEAR SURVEYING, P.C.
 - ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE INDICATED.
 - ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
 - EXISTING SANITARY SEWER MAINS ARE OWNED BY TOWN OF CAROLINA BEACH.
 - EXISTING WATER MAINS ARE OWNED BY TOWN OF CAROLINA BEACH.
 - INDIVIDUAL ROLL CARTS SHALL BE USED FOR LDT TRASH REMOVAL.
 - SLOPE ON HANDICAP SPACES SHALL BE 1:50 OR FLATTER.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
 - LIMITS OF DISTURBANCE = 39,853 SF = 0.92 ACRES. LIMITS OF DISTURBANCE MUST REMAIN BELOW 1 ACRE.
 - UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED IN ACCORDANCE WITH THE GROUND STABILIZATION CHART.
 - BUILDINGS, DECKS, BOARDWALKS, & POOLS SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR DESIGN OF BUILDINGS, DECKS, BOARDWALKS, & POOLS.
 - CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING INSTALLATION OF PROPOSED UTILITIES & RADII OF ROAD NEAR EXISTING POWER FILES.
 - ALL PROPOSED VEGETATION & BACKFLOW PREVENTERS WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES & PROPOSED UTILITIES.
 - ALL PROPOSED UTILITY LINES SHALL BE UNDERGROUND.
 - LOCATION OF ANY ELECTRIC LINES, TELEPHONE LINES, AND/OR NATURAL GAS LINES TO BE DETERMINED BY UTILITY COMPANIES AND/OR OTHERS.
 - CONTRACTOR TO REPAIR ANY DISTURBED AREAS (ASPHALT, STONE, CURB, SIDEWALK, GRASS PLAZA, ETC) WITHIN THE RIGHTS-OF-WAY OF N. LAKE PARK BLVD & TEXAS AVENUE TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
 - ON-SITE WATER & SANITARY SEWER SERVICE LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS TO BE DETERMINED BY THE PLUMBER.
 - STREET LIGHT LOCATIONS SHOWN ALONG ON-SITE DRIVE AISLE ARE APPROXIMATE. LIGHTS SHALL BE SHIELDED & POINT DOWNWARD.
 - CONTRACTOR SHALL COORDINATE RELOCATION OF TOWN'S RESTROOM BUILDING, SIGNAGE, & BICYCLE RACK LOCATED IN TEXAS AVENUE WITH THE TOWN.
 - TRENCH DRAIN SHALL DAYLIGHT AND FLOW TO SOUTH LAKE PARK BLVD.
 - AN AIR GAP SHALL BE PROVIDED ON THE WATER SERVICE TO THE POOL PER NEW HANOVER COUNTY, OTHERWISE A 3/4" WILKINS MODEL 375XL RPPA BACKFLOW PREVENTER, OR EQUIVALENT, SHALL BE INSTALLED AFTER THE WATER METERS.
 - THE PROPOSED WATER METERS SHALL BE 3/4".
 - THE PROPOSED WATER MAIN AND APPURTENANCES WITHIN TEXAS AVENUE FROM THE EXISTING 8" WATER MAIN IN S. LAKE PARK BLVD TO THE 2" BLOWOFF SHALL BE PERMITTED AND INSTALLED BY OTHERS.
 - THE PROPOSED WATER SERVICES FROM THE PROPOSED WATER MAIN IN TEXAS AVENUE TO THE WATER METER SHALL BE INSTALLED BY OTHERS.
 - THE PROPOSED SANITARY SEWER SERVICES FROM THE EXISTING SEWER MAIN IN S. LAKE PARK BLVD TO THE CLEANOUT AT THE R/W FOR EACH SERVICE SHALL BE INSTALLED BY OTHERS.
 - NCDDT APPROVAL OF UTILITY ENCROACHMENTS (SANITARY SEWER SERVICES & WATER MAIN) WITHIN S. LAKE PARK BLVD SHALL BE OBTAINED BY OTHERS.

SITE DATA
PROPERTY OWNER: PENSICO TRUST CO FBO ETAL, PENSICO TRUST CO, LLC
PROJECT ADDRESS: 4 TEXAS AVENUE, 2 TEXAS AVENUE
PIN NUMBER: R09018-01-009-000; R09018-01-010-000
ZONING DISTRICT: MF
PROPOSED USE: RESIDENTIAL PLANNED UNIT DEVELOPMENT
FLOOD AREA: THIS LOT IS IN A FLOOD HAZARD AREA ACCORDING TO COMMUNITY-PANEL NUMBER 372009000L, ZONES AE (B.F.E. 10.0') & VE (B.F.E. 15.0'). DATE: APRIL 3, 2006 (PER CAPE FEAR SURVEYING, P.C.)
SITE AREA: 29,993 SF = 0.69 ACRES ±
MAXIMUM ALLOWABLE BUILDING HEIGHT: 50'
ELEVATION OF S. LAKE PARK BLVD AT R/W BASED ON AVERAGE OF EXISTING GRADE AT BOTH PROPERTY CORNERS: (10.25' + 11.57') / 2 = 10.91'
PROPOSED BUILDINGS HEIGHT MEASURED FROM AVERAGE EXISTING ELEVATION OF SOUTH LAKE PARK BLVD AT R/W TO ELEVATION OF TOP OF BUILDING:

BUILDING	# OF STORIES	# OF BEDROOMS PER UNIT	FFE	HEIGHT
UNITS 1 & 2	3	4	12.44	43.03'
UNITS 3 & 4	3	4	12.76	43.35'
UNIT 5	3	6	13.26	43.92'
UNIT 6	3	6	13.07	43.50'
UNIT 7	3	6	12.83	42.85'
POOL SUPPLY	1	N/A	12.00	< 12'

MAXIMUM ALLOWABLE LOT COVERAGE: 40%
PROPOSED LOT COVERAGE: 9,854 / 29,993 x 100 = 32.86%
BUILDING SETBACKS: REQUIRED FRONT-10', REAR-10', INTERIOR SIDE-7.5', CORNER SIDE-12.5'
BUILDING SETBACKS: PROPOSED FRONT-10', REAR-10', INTERIOR SIDE-7.5', CORNER SIDE-10.0'
(VARIANCE REQUESTED FOR CORNER SIDE SETBACK)
TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE (EXCLUDES FRONT SIDEWALK LOCATED ON THE SITE):

AFTER DEVELOPMENT	
BUILDINGS (FOOTPRINT)	PROPOSED (SF) % OF SITE
DRIVE AISLE	9,857 32.87
STAIRWALK	3,863 12.90
OTHER (DRIVEWAY, STAIR LANDING, PEBL, BECO)	92 0.30
FUTURE	2,975 9.92
TOTAL	16,793 55.99

TOTAL PROPOSED IMPERVIOUS AREAS OFF-SITE CONCLUDES FRONT SIDEWALK LOCATED ON THE SITE):

ROAD/PARKING	AREA (SF)
STAIRWALK	1,191
TOTAL	7,002

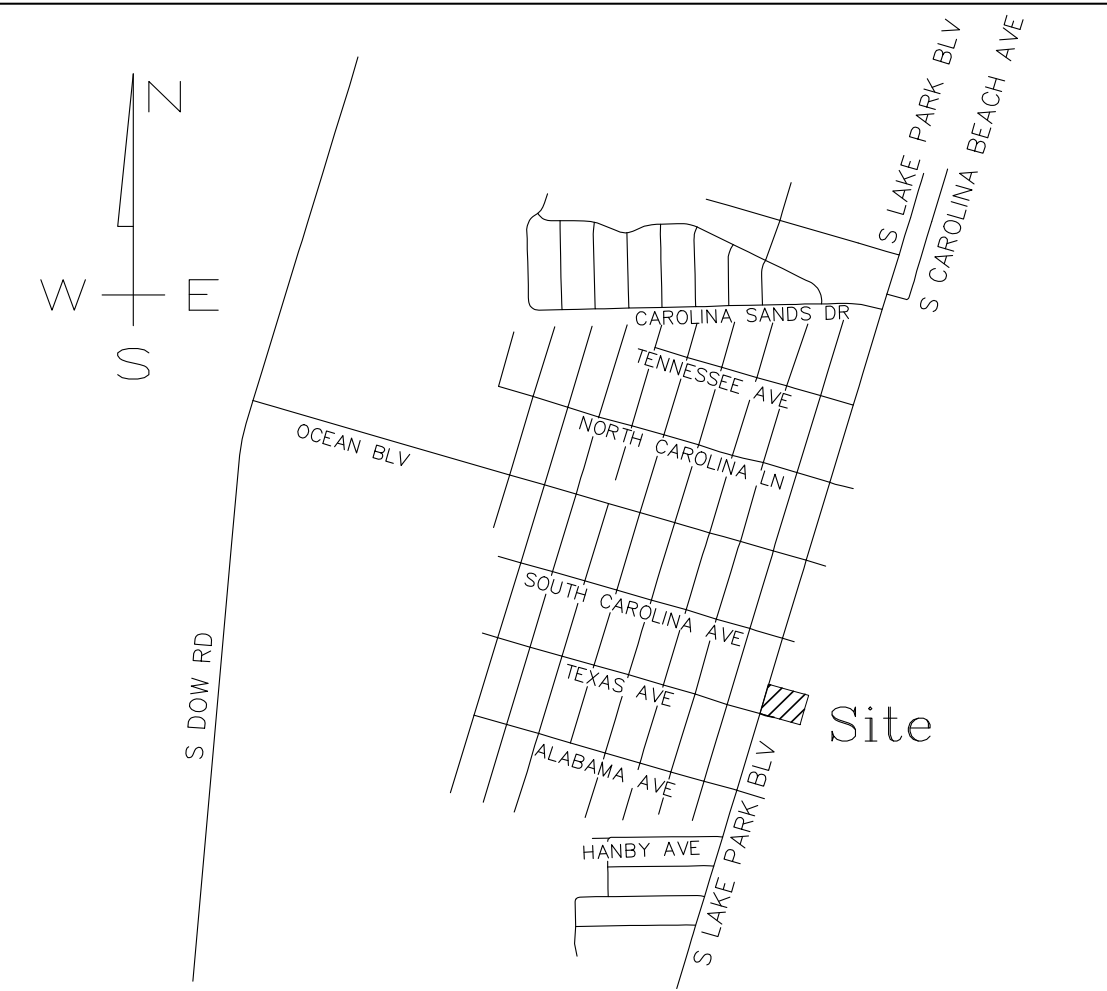
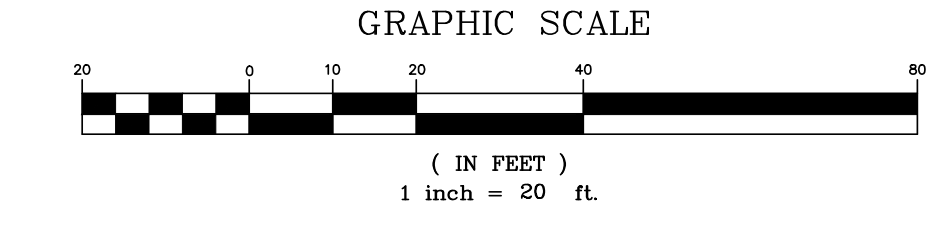
OFF STREET PARKING CALCULATIONS:
PARKING REQUIRED PER UNIT (UNITS 1-4) = (2 SPACES / UNIT) + (0.5 SPACES / BEDROOM OVER 2 BEDROOMS IN A UNIT / UNIT + 2 BEDROOMS) = 3
PARKING PROVIDED PER UNIT (UNITS 1-4) = 4 (2 INSIDE GARAGE & 2 ON DRIVEWAY)
PARKING REQUIRED PER UNIT (UNITS 5-7) = (2 SPACES / UNIT) + (0.5 SPACES / BEDROOM OVER 2 BEDROOMS IN A UNIT / UNIT + 4 BEDROOMS) = 4
PARKING PROVIDED PER UNIT (UNITS 5-7) = 4 (2 UNDER CARPORT & 2 ON DRIVEWAY)
REQUIRED OPEN SPACE: 0.25 x 29,993 SF = 7,498 SF
PROVIDED OPEN SPACE: 12,359 SF

APPROX. LOCATION OF EXISTING 2" WATER MAIN (CONTRACTOR TO VERIFY EXACT SIZE, LOCATION, & MATERIAL)

APPROX. LOCATION OF EXISTING 8" WATER MAIN (CONTRACTOR TO VERIFY EXACT SIZE, LOCATION, & MATERIAL)

EX. ONE STORY FRAME DWELLING
1605 TEXAS AVENUE HOA INC
DB: 2859 PG: 314
PID: R09018-01-001-001
ZONING: MF
LAND USE: CONDOMINIUM COMMON AREA

EX. ONE STORY FRAME DWELLING
N/F
PIESTA DE SOL LTD
DB: 1351 PG: 690
PID: R09018-01-001-000
ZONING: MF
LAND USE: SINGLE-FAMILY RESIDENTIAL



LOCATION MAP
NTS

- LEGEND
- IRON PIPE OR ROD SET
 - EXISTING IRON PIPE OR ROD
 - CONCRETE MONUMENT
 - ▲ P.K. SURVEY NAIL
 - ◆ NON-MONUMENTED CORNER
 - 10.25' ○ EXISTING SPOT ELEVATION
 - ⊙ EXISTING WATER METER
 - ⊕ EXISTING FIRE HYDRANT
 - ⊖ EXISTING POWER POLE WITH GUY WIRE CENTERLINE
 - RIGHT-OF-WAY LINE
 - - - SUBJECT PROPERTY LINE
 - - - ADJACENT PROPERTY LINE (NOT SURVEYED)
 - - - EXISTING EASEMENT
 - - - EXISTING OVERHEAD ELECTRIC LINE
 - - - EXISTING FENCE LINE
 - - - EXISTING GUARD RAIL
 - - - EXISTING CONTOUR
 - - - EXISTING WATER LINE (APPROX. LOCATION)
 - - - EXISTING SANITARY SEWER LINE
 - - - EXISTING SANITARY SEWER MANHOLE (SSMH)
 - - - EXISTING STORM DRAIN
 - - - EXISTING STORM DRAIN MANHOLE (SDMH)
 - - - EXISTING DROP INLET
 - - - EXISTING CATCH BASIN
 - - - PROPOSED LOT LINE
 - - - PROPOSED LIMITS OF DISTURBANCE
 - - - PROPOSED SILT FENCE
 - - - PROPOSED SETBACK
 - - - PROPOSED CONSTRUCTION ENTRANCE
 - - - PROPOSED SPOT ELEVATION
 - - - PROPOSED SIDEWALK OR CONCRETE
 - - - PROPOSED SANITARY SEWER CLEANOUT
 - - - PROPOSED WATER MAIN (BY OTHERS)
 - - - PROPOSED GATE VALVE (BY OTHERS)
 - - - PROPOSED FIRE HYDRANT (BY OTHERS)
 - - - PROPOSED WATER METER
 - - - PROPOSED STREET LIGHT
 - - - PROPOSED DRAINAGE FLOW ARRROW

COVER SHEET & SITE PLAN
WINDWARD ISLES
TOWN OF CAROLINA BEACH NEW HANOVER COUNTY NORTH CAROLINA

DATE: 9-5-17
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 285

FINAL DRAWING NOT RELEASED FOR CONSTRUCTION

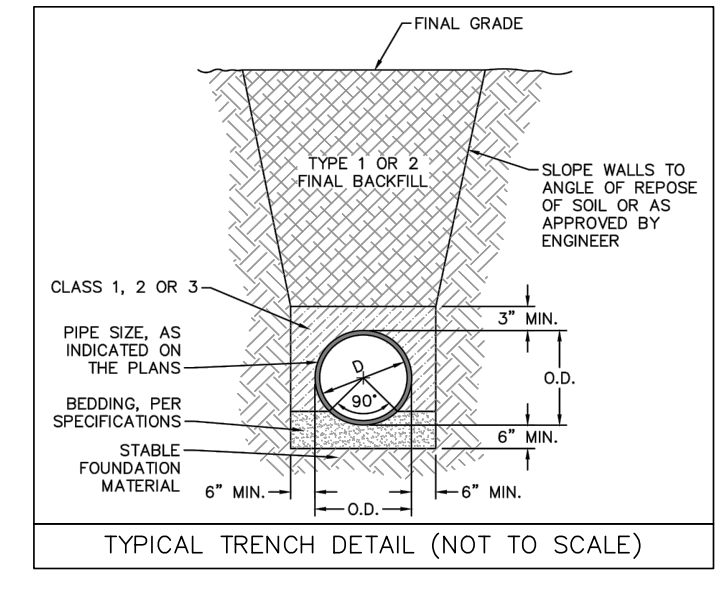
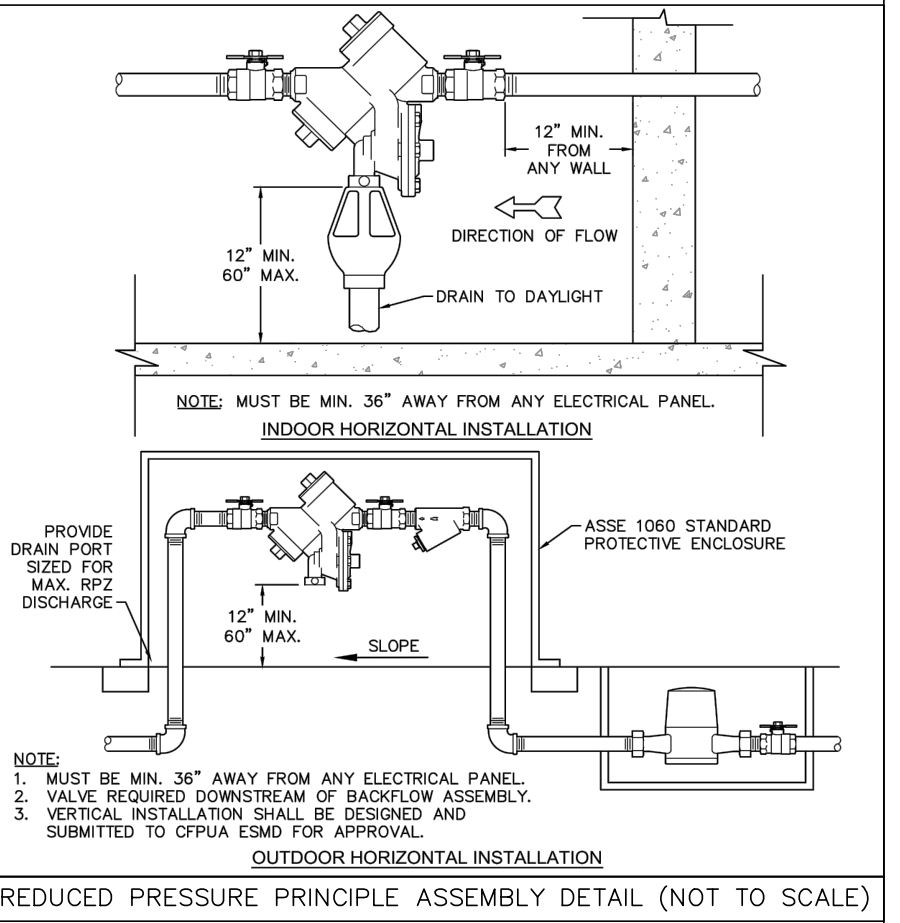
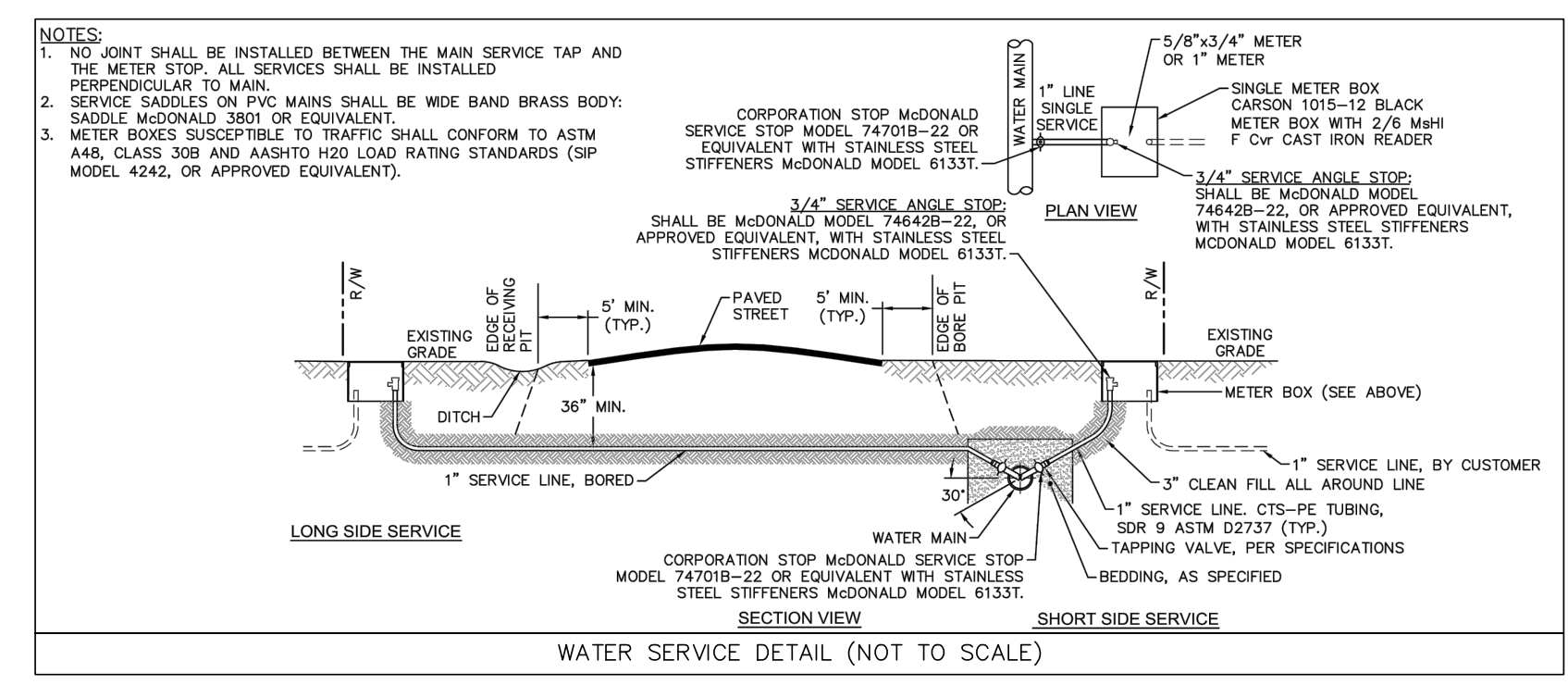
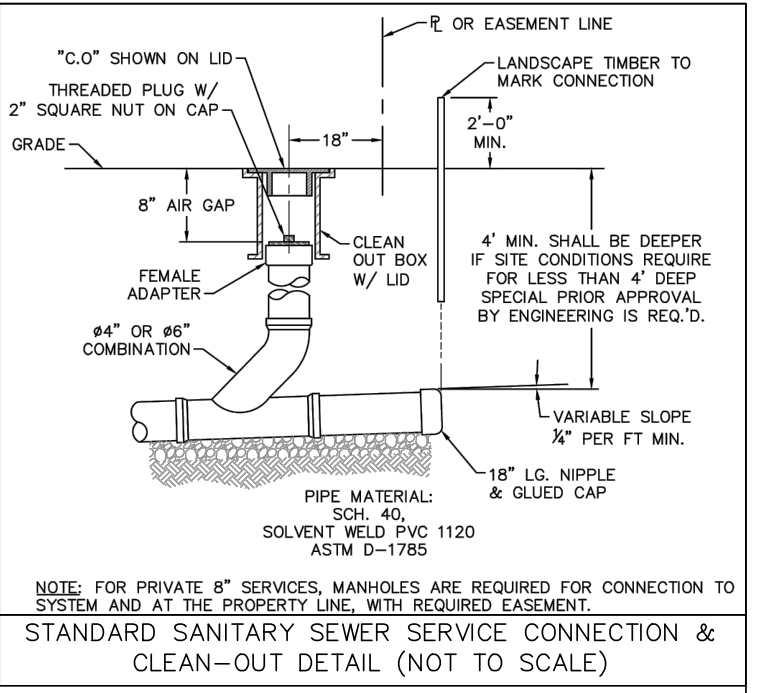
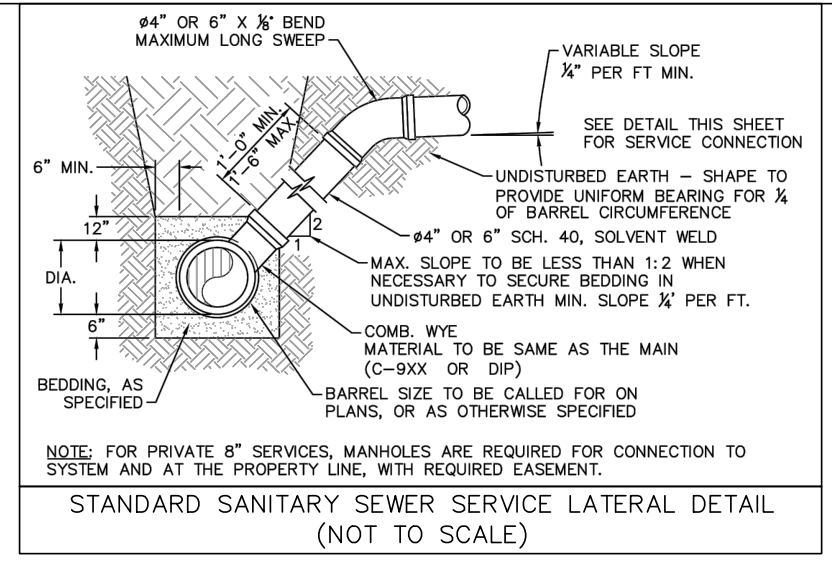
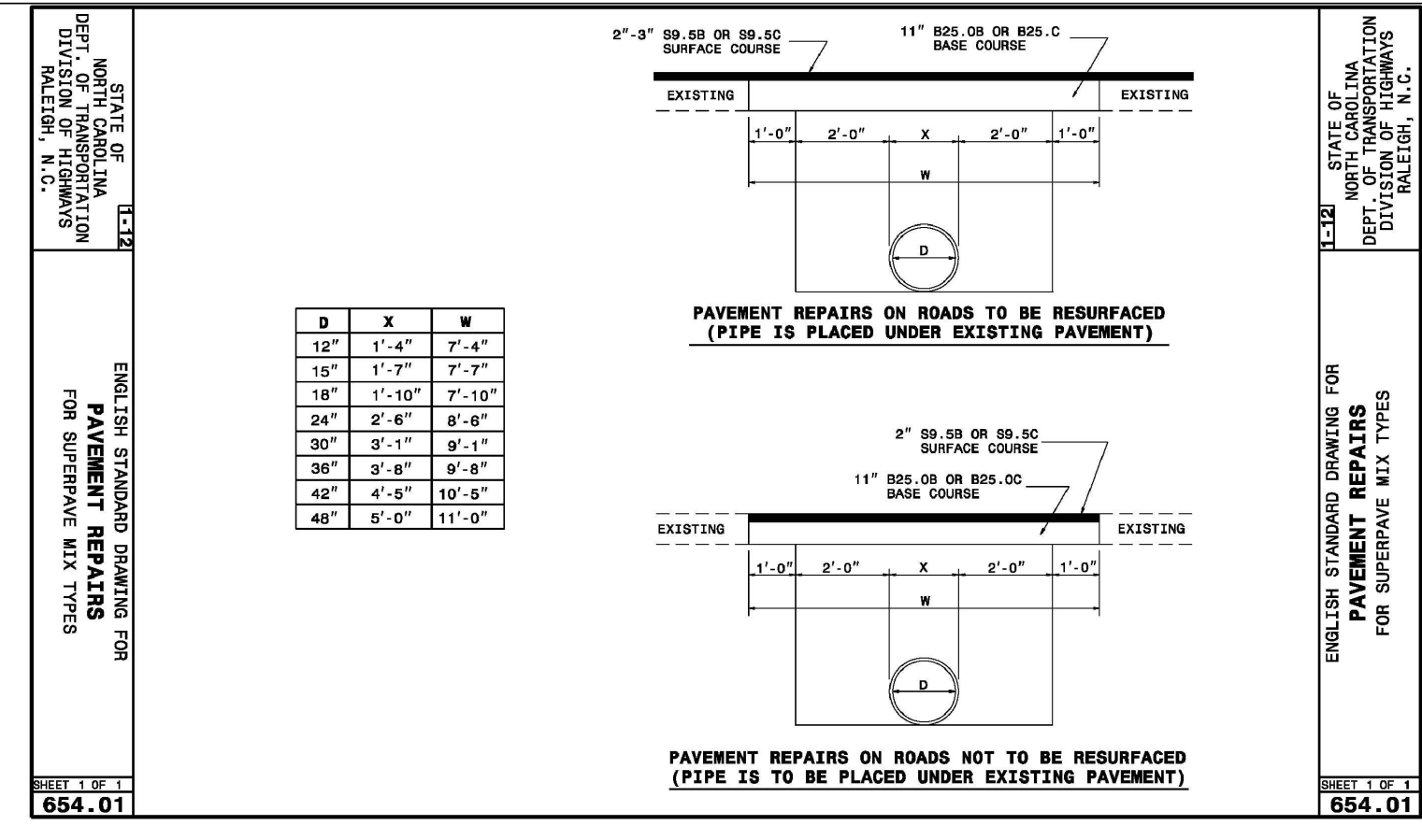
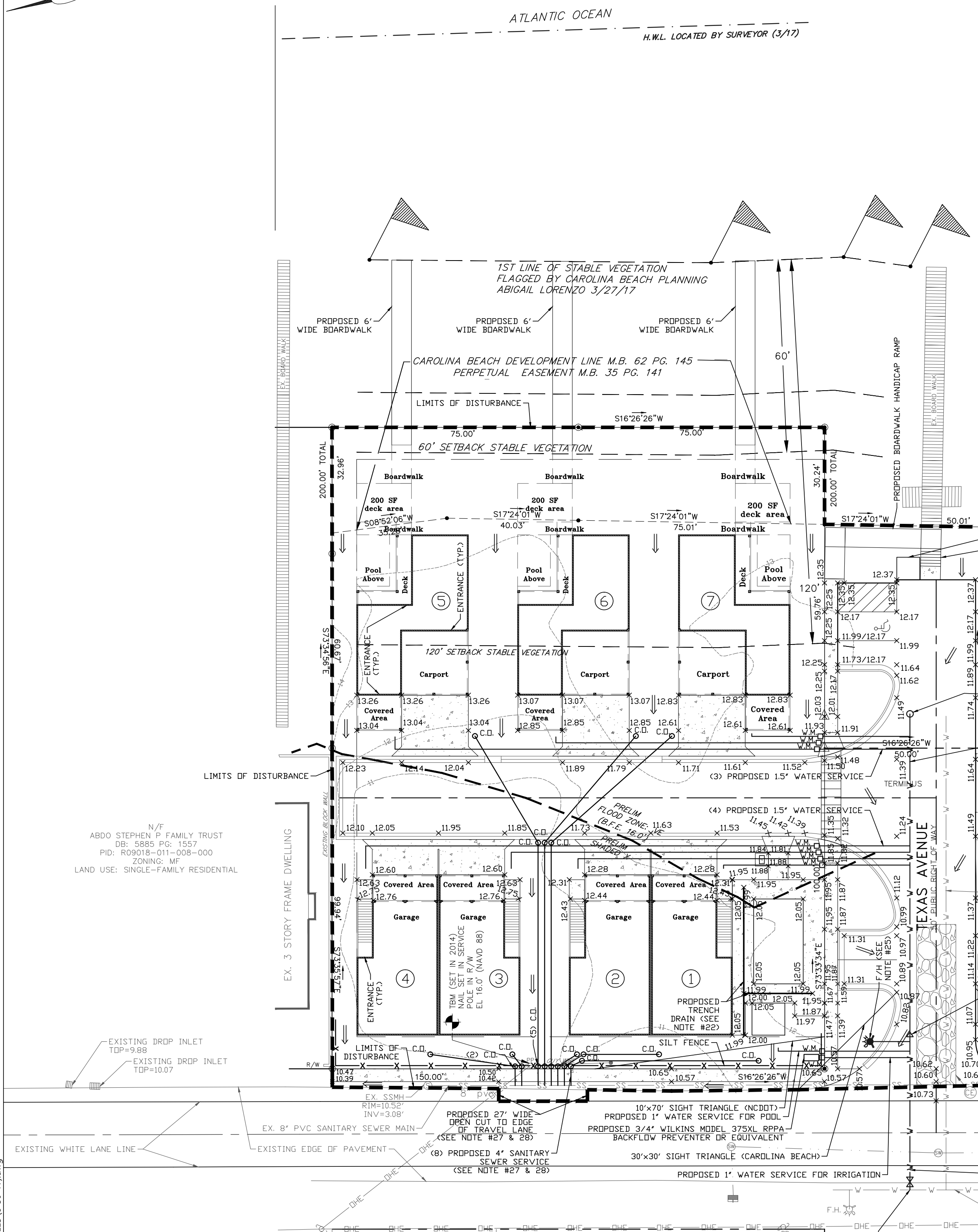
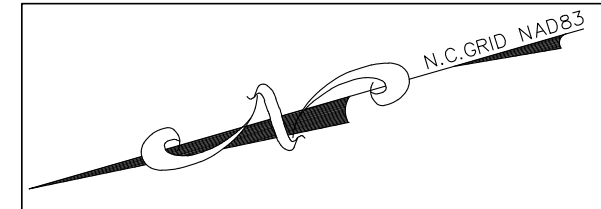
MALPASS ENGINEERING & SURVEYING, P.C.
1104 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-392-8949
Fax 910-392-6203 License No. C-2320

Developer: RICHARD WALLACE BUILDER, INC.
P.O. BOX 480
KURE BEACH, NORTH CAROLINA 28449

SHEET NO: 1
OF: 4

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

G:\AutoCAD\2015\285\WINDWARD ISLES (8-30-17).dwg



ABDO STEPHEN P FAMILY TRUST
DB: 5885 PG: 1527
PID: R09018-011-008-000
ZONING: MF
LAND USE: SINGLE-FAMILY RESIDENTIAL

SABA CHRISTOPHER F JULIE A
DB: 3972 PG: 518
PID: R09018-010-011-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

1516 SOUTH LAKE PARK COA
DB: 5557 PG: 2150
PID: R09018-010-025-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

CASA DEL PLAYA UOA INC
DB: 1348 PG: 38
PID: R09018-010-010-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

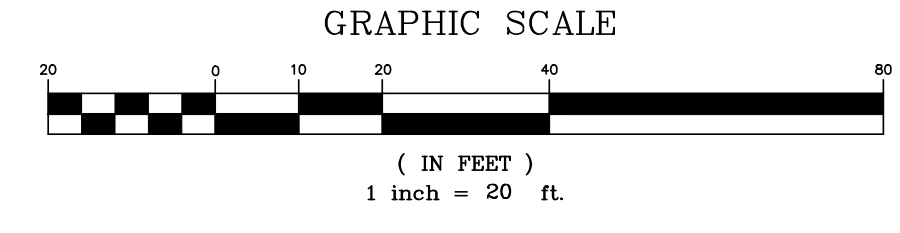
IPOLITO GIOVANNI YANNA VLACANICH
DB: 6047 PG: 2286
PID: R09018-012-009-000
ZONING: MF
LAND USE: SINGLE-FAMILY RESIDENTIAL

1605 TEXAS AVENUE HOA INC
DB: 2859 PG: 314
PID: R09018-012-001-001
ZONING: MF
LAND USE: CONDOMINIUM COMMON AREA

FIESTA DE SOL LTD
DB: 1351 PG: 690
PID: R09018-012-001-000
ZONING: MF
LAND USE: MULTI-FAMILY RESIDENTIAL

US 421 (SOUTH LAKE PARK BOULEVARD)

TEXAS AVENUE
50' PUBLIC RIGHT OF WAY



GRADING & UTILITY PLAN
WINDWARD ISLES
TOWN OF CAROLINA BEACH NEW HANOVER COUNTY NORTH CAROLINA

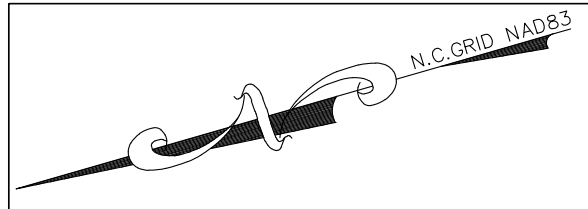
DATE: 9-5-17
SCALE: 1"=20'
DRAWN: JCB
CHECKED: SEM
PROJECT NO: 285
SHEET NO: 2
OF: 4

FINAL DRAWING NOT RELEASED FOR CONSTRUCTION

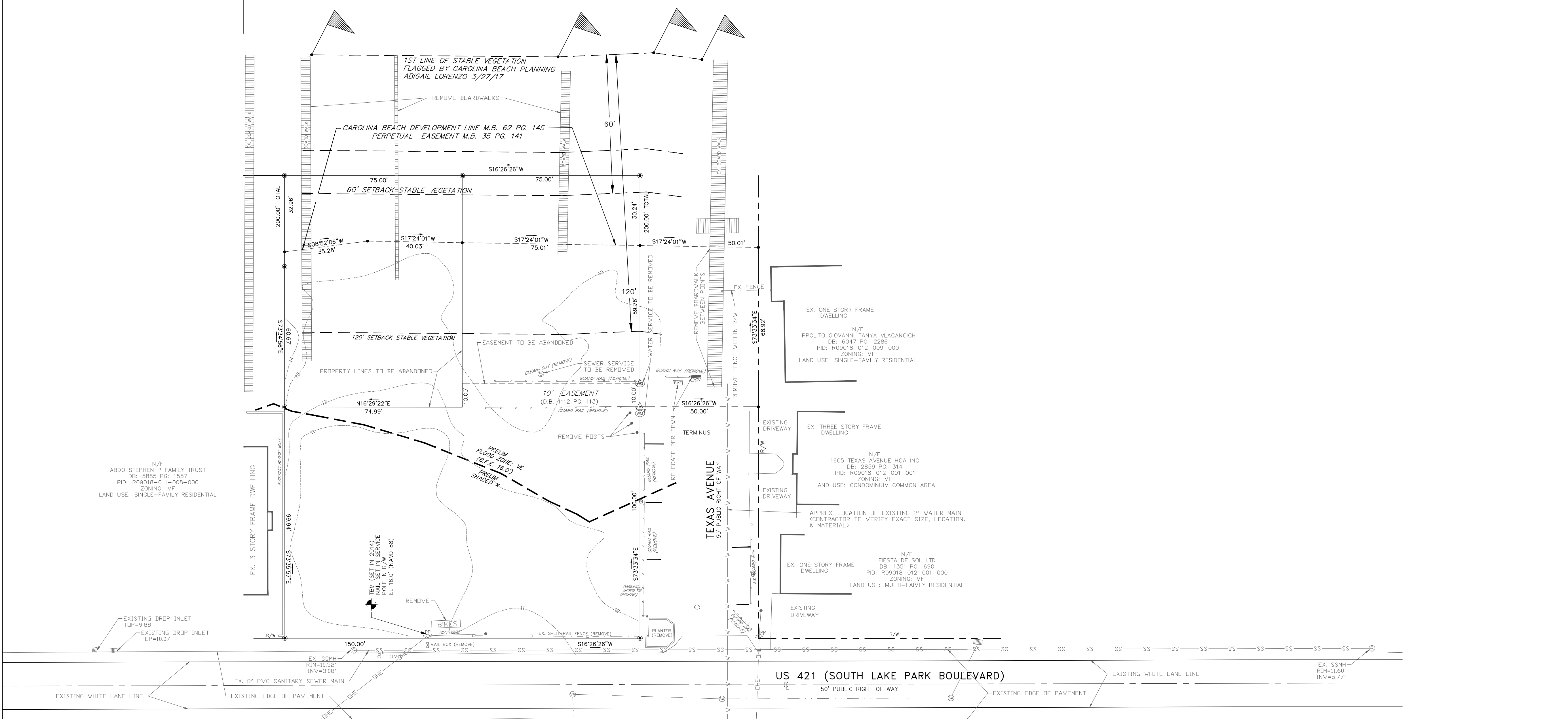
MALPASS ENGINEERING & SURVEYING, P.C.
1104 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-382-8843
Fax 910-392-6263 License No. C-2320

Developer: RICHARD WALLACE BUILDER, INC.
P.O. BOX 480
KURE BEACH, NORTH CAROLINA 28449

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



ATLANTIC OCEAN
H.W.L. LOCATED BY SURVEYOR (3/17)



G:\AutoCAD\2015\285\WINDWARD ISLES (8-30-17).dwg

N/F
ABDO STEPHEN P FAMILY TRUST
DB: 5885 PG: 1557
PID: R09018-011-008-000
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EXISTING WHITE LANE LINE
EXISTING EDGE OF PAVEMENT
EX. 8" PVC SANITARY SEWER MAIN
INV=3.08'

N/F
SABA CHRISTOPHER F JULIE A
DB: 3972 PG: 518
PID: R09018-013-011-000
ZONING: MX
LAND USE: SINGLE-FAMILY RESIDENTIAL

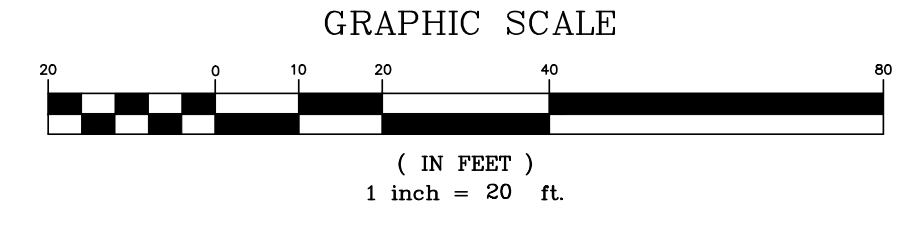
N/F
1516 SOUTH LAKE PARK COA
DB: 5557 PG: 2150
PID: R09018-010-025-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

N/F
CASA DEL PLAYA UOA INC
DB: 1348 PG: 98
PID: R09018-010-010-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

TEXAS AVENUE
50' PUBLIC RIGHT OF WAY

US 421 (SOUTH LAKE PARK BOULEVARD)
50' PUBLIC RIGHT OF WAY

APPROX. LOCATION OF EXISTING 8" WATER MAIN (CONTRACTOR TO VERIFY EXACT SIZE, LOCATION, & MATERIAL)



REV NO.	DESCRIPTION	DATE
1	REVISED PER TOWN OF CAROLINA BEACH TRC.	9-21-17

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

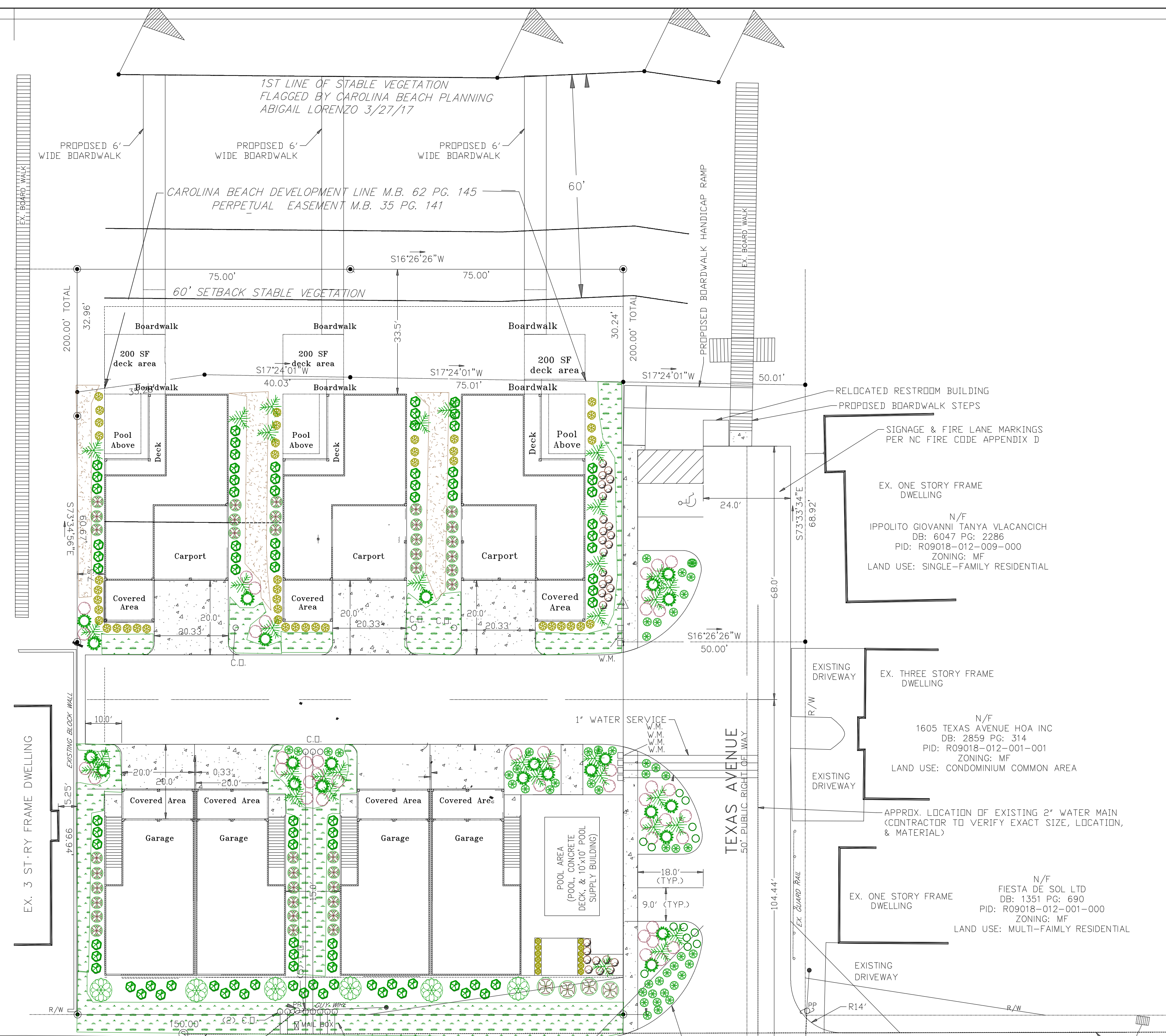
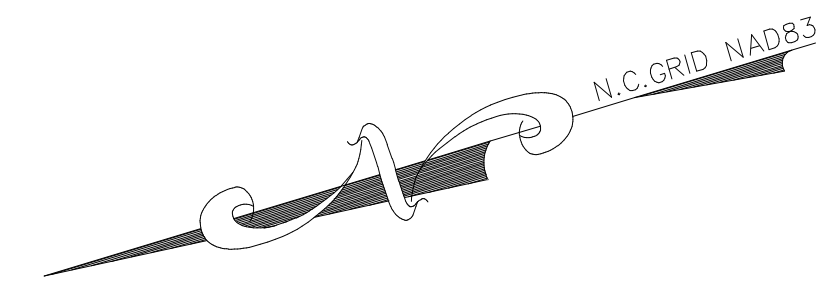
EXISTING CONDITIONS & DEMOLITION PLAN
WINDWARD ISLES
TOWN OF CAROLINA BEACH NEW HANOVER COUNTY NORTH CAROLINA

**FINAL
DRAWING
NOT RELEASED
FOR
CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.
1104 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-382-8848
Fax 910-382-6203 License No. C-2320

Developer: RICHARD WALLACE BUILDER, INC.
P.O. BOX 480
KURE BEACH, NORTH CAROLINA 28449

DATE: 9-5-17
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 285
SHEET NO: 3
OF: 4



LEGEND

COMMON NAME	SIZE	QTY
FLOWER, PERENNIAL		
MISCANTHUS SINENSIS	3 GAL.	43
SHRUB, EVERGREEN BROADLEAF		
HOLLY, MARY NELL, FTG	7' HT.	6
LANTANA, NEW GOLD	1 GAL.	13
LIGUSTRUM JAPONICA, FTG	6' HT.	4
LIGUSTRUM RECURVE	3 GAL.	38
MAHONIA, SOFT CARESS	3 GAL.	30
PITTIOSPORUM COMPACTA	7 GAL.	85
DRIFT ROSE	3 GAL.	50
YEW, UPRIGHT JAPANESE	7 GAL.	56
TREE, EVERGREEN		
SABAL PALM, BOOTED	10' HT.	35
PALM, SABAL MINOR	7 GAL.	24

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DB: 1348 PG: 98
PID: R09018-010-010-000
ZONING: MX
LAND USE: CONDOMINIUM COMMON AREA

Revision #: Scale: Landscape Plan: Landscape Design by: James Freeman - NCLC# 71

Date: 8/28/2017 1" = 20' Wallace Builders - Texas Ave. Freeman Landscape, Inc.