



CAROLINA BEACH

Planning and Zoning Meeting Agenda
Thursday, August 8, 2019 @ 6:30 PM
Council Chambers
1121 N. Lake Park Boulevard
Carolina Beach, NC 28428

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CAROLINA BEACH

Planning and Zoning Minutes
Thursday, July 11, 2019 @ 6:30 PM
Council Chambers
1121 N. Lake Park Boulevard
Carolina Beach, NC 28428

ASSEMBLY

The Town of Carolina Beach Planning and Zoning was held on Thursday, July 11, 2019 at 6:30 PM at Council Chambers.

PRESENT: Keith Bloemendaal, Deb LeCompte, Mike Hoffer, Wayne Rouse, and Melanie Boswell

ABSENT:

ALSO PRESENT: Director of Planning & Development Jeremy Hardison and Interim Town Manager Ed Parvin

• **CALL TO ORDER**

The meeting was called to order at 6:27 p.m. by Chairman Bloemendaal.

• **APPROVAL OF MINUTES**

Planning & Zoning - June 13, 2019 Meeting Minutes.

- a. Commissioner Rouse made a motion to approve the minutes.
Chairman Bloemendaal seconded, all were in favor (7-0).

• **STAFF REPORT ON RECENT COUNCIL MEETINGS**

Mr. Hardison reported on the recent Council Meeting held July 9, 2019.

There were two items that were Planning and Zoning related, one was a request for an extension for a CUP on Lake Park and Bertram. CUP's are good for 2 years but because construction did not start this has been extended for 12 months for the business center which they have applied for a building permit. Also a CUP for a 6 unit 400 block of Canal Drive was also approved.

• **STAFF REPORT ON RECENT DEVELOPMENTS**

Mr. Hardison reported on the recent activities in the Planning and Development Department.

Staff Update - July 11th, 2019

Permitting -

28 Permits (renovation, repair, grading, additions)

12 Residential New Construction

20 Certificates of Occupancy

Code Enforcement -

17 Complaints Received

11 Resolved

New Business -

Publix – Is Open!

Permits Applied for 1322 LPBN - this is the business that applied for an extension.

Demolition – 702 Harper

Demolition – 109 Cape Fear - formally the outside area of Jack's Retreat plan is to start after the season has ended.

Demolition – 304 S. 6th

Demolition – Surf Side Hotel - 3 parcels for a total of 300 linear footage at 234,236, & 302 CBAN

Food Trucks -

2 that have opened - 1 at the corner of Lake Park Blvd and Hamet which is Ice Cream and the other on Canal Dr and that is Snoballs.

FEMA Elevation project on the 800 block of Canal Dr.

Up coming LUP meetings - July 16th Open House, August 8th at the regular P&Z meeting for review and recommendations and September 10th Regular Council meeting for a Public hearing to adopt the LUP. The final draft can be found at <https://www.carolinabeachcamaupdate.com/>.

Special Events -

Double Sprint Triathlon - Saturday 13th 7:00 AM – 10:30 AM

Got-Em-On King Mackerel Classic - July 12-14

CB Swim - start at Alabama and ends at Hamlet Sunday 14th 8:00 AM – 10:00 AM

Technical Review Committee -

CUP modification for Hurricane Ally's

Mixed use Text Amendment

Review one way street on Wilson Avenue

Recommendations on Public Nudity ordinance

Preliminary Mixed Use Development Plans in the CBD

Commissioner Rouse asked would the development that is north of the gazebo on Canal Dr would that be a CUP or can they do that by right. Mr. Hardison replied there is a requirement/certain square footage which is 20,000 square feet before it would kicks into a CUP.

PUBLIC DISCUSSION

Chairman Bloemendaal opened the public discussion.

- a. Consider a rezoning request from R-1 to R-3 to rezone 25 properties on the south side of Sumter Ave from the 400 block of Sumter Ave to the Sunny Point buffer, and to include 804 & 803 S. Sixth st and 804 S 4th st. Applicant: Karen Graybush

Mr. Hardison reported on the Rezoning of the 400 block of Sumter Ave -

Purpose of Zoning Districts -

Regulate the height and size of buildings;

Regulate the intensity of land usage;

Regulate areas for open space;

Regulate the location of land uses;

The goal of this is to promote the health, safety and general welfare of its citizens, the town and its extraterritorial planning jurisdiction are hereby divided into the following zoning districts:

Rezoning -

Area proposed to be rezoned from R-1 to R-3. In this area there are 14 - Single-family, 7 - vacant lots (3 of have applied for a permit for duplex units), 2 - Mobile homes, and 1 - two-family dwellings. Regarding the 3 lots that are in transition prior to any change they have a choice to which code they would like to follow. There are 22 property owners and 10 are 12,000 sq. ft. and 15 that are 5,000 sq. ft. Chairman Bloemandaal asked what would happen to the 15 properties with 5,000 sq. ft. Mr. Hardison replied at present they have the option to split the lot and make 2 build able lots. If it were rezoned as R3 they do not have the ability and they would have to follow the minimum lot size which is 12,000 sq.ft. If the lot is already 5,000 sq.ft. it can still be developed but only as a single family dwelling. When subdividing a lot you need to meet the minimum lot size requirement. Commissioner Rouse asked if there is an existing multifamily which would be demoed what would happen then. Mr. Hardison replied Non conforming language does protect structures damaged by wind/rain/hurricane/fire you can rebuild on the same footprint. If wanting to renovate you are grandfathered in to a point which would be 50% of the value of the structure once you exceed your construction cost with the improvements then that's when you would have to conform to the current regulations.

Mr. Hardison added the major difference between the zones are – R1 does allow for single and two family residential dwellings with 5,000 sq. ft. lots with front yards at 20', height at 45' and R3 is single family only with 12,000 sq. ft. lots with a larger front yard at 25', height at 40'. Setbacks for rear and side are the same as well as the maximum lot coverage at 40% structure coverage. Sumter Ave was the dividing line back in the 80's. The vision of this area in our LUP is consistent with the ordinance, this is a residential area which includes single-family and duplex units. This also identifies as moderate minimum of 5,000 sq. ft. lots with up to 15 units per acre. With this stand point staff would recommend this area be kept R1. The commission has the option to deny the request or you would have to have an approval statement saying that this not consistent with the LUP and the reason for this finding.

Questions for Mr. Hardison -

Commissioner Kennedy asked how many non-conforming lots are there. Mr. Hardison responded that every lot meets the minimum 5,000 sq.ft. Commissioner Kennedy then stated we would go from 0 to 15 non-conforming lots and Mr. Hardison confirmed that is correct.

Commissioner Rouse stated that staff is recommending to keep this as R1 correct. Mr. Hardison replied correct to coincide with what the LUP states.

Chairman Bloemandaal made a recommendation to open the public hearing.

Karen Graybush resides at 518 Sumter Ave. Feels the zoning line would go down the middle of a block so that the streetscapes face each other and the density stayed consistent. R1 and duplexes are not consistent for the conformity of the single-family neighborhood in that area. Feels if duplexes are built on the south side of Sumter would change the feel of the neighborhood and

would become cluttered which is primarily mostly single-family homes with full-time residents, feels it's just that simple.

George resides at 404 Sumter Ave. He would like clarification on the 2family home on the 400 block of Sumter. Mr. Hardison replied that house faces 4th Street. He supports Karen's comments and feels it's a consistency and integrity issue for the neighborhood. Feels that we should keep the integrity of the neighborhood they bought into. Feels the traffic in multi-unit homes rather than single-family homes changes the complexion drastically. Said Mayor Benson stated in an article that we have more of a year round community. Our concern is residents that are trying to raise families we now become inundated with short-term rentals.

Alicia Devereaux resides at 801 Alabama Ave – she is real estate broker and represents the client in the sale of the 3 vacant lots, 517, 519 Sumter and 803 6th Street. Ms. Graybush contacted her via text asking the price and whether they were zoned single or 2 family. Ms. Graybush sent a letter stating she would be pursuing the rezoning of these lots. She feels that the main focus were the contracts on the 3 lots across the street from her home and that the buyers were going to build two unit buildings on each lot. She feels the rezoning request is not only taking away an owners private property rights but subsequently negatively affecting their property values. She respectfully requests the denial of this rezoning application.

Nancy Hamilton resides at 510 Sumter Ave. Loves her neighborhood and feels the duplexes would decrease the value of her home. All of her neighbors want to keep the single family homes. She hopes for the consideration of the rezoning to R3.

Sharon Walters lives at 701 Sumter Ave and has been there for 38 years. She loves everything about the neighborhood. She doesn't want multiple family units on her street.

Diane Warner owns property at 617 Sumter Street and has been here for over 60 years. She would like to build nice structure duplexes for her family and wouldn't build a bunch of junk. She would definitely go against this and would like the commission to consider to keep it like it is.

Michael Barrett property owner of 701 Sumter Ave. Feels going back to R3 would be the way to go. I support Karen's comments and feels this would create more traffic.

Brian Work resides at 804 South 6th Street and is against the rezoning. Feels the 800 block of South 6th Street represents a good cross-section of what Carolina Beach is. Feels the rezoning will affect the people that already own properties and he respectfully request that they deny the rezoning request.

Trisha Keene resides at 406 Oceana Way and is against the rezoning. She is a Realtor and represents the buyers of the 3 lots in question. She received a text from Ms. Graybush asking if her buyers had any intention of putting duplexes on the lots, she told her that yes they are planning on building duplexes that would fit in with the neighborhood. Ms. Graybush sent a letter stating that she was going to attempt to rezone the area because she didn't want duplexes built. In the letter that she sent to Ms. Devereaux and myself stated that maybe there could be some discourse during this process. Ms. Graybush approached her clients and they in turn sent her a statement regarding their concerns. Ms. Graybush stated that Sumter Ave was miss zoned and that she and her

neighbors plan to put in for a rezoning of the 3 lots. She also stated she was on the Land Use Steering Committee and said that it would be very likely that this would get rezoned. The experience was very discouraging and they are seriously considering dropping out of the deal and that they plan to meet with town officials to discuss their concerns. Her personal concerns are if it is rezoned then everyone would be affected and feels this should be left alone. She feels that someone that's on a committee and then using that seems like an abuse of power and feels it was very intimidating.

Barbara Bass resides at 117 Leaver Court in Kure Beach. She sold a lot at 409 Sumter in May the buyer received a letter regarding the rezoning and feels he may need to sell the land. She in turn spoke with Mr. Hardison and he told her they can still build but there would be some changes and that they would have to have the paper work in before the possibility of any rezoning. Her concern is her clients put faith in her and then there are possibilities of spot changes or spot zoning. She is against the change from R1 to R3.

Chris Edwards he represents Brian Dictor the owner of 409 Sumter. Mr. Dictor objects to the change and so do others and he believes it's unreasonable and unfair to require the zoning to go through in this way. He feels it's inconsistent with the towns land use plan.

Michael Murphy lives at 704 Sumter and is 100% behind Karen's request. Feels consistency is good and the homeowners that live on Sumter are the type of people that make the town what it is why change it.

Brian Graybush lives at 518 Sumter and is the applicant's husband. Feels the old way works in the neighborhood and doesn't understand why zoning would be split down the middle of the street. His wife's intention is to work towards affordable single-family housing for new families. Is concerned regarding the density of the town. Think about the density and splitting the zoning down the middle of the street.

Karen Graybush feels there has been a little bit of character assault tonight. Yes, she is on the Land Use Committee and was asked her opinion of what I thought might happen. She has stated numerous times in meetings how overwhelming the process is but is learning along the way. She can sell houses and do surgery but she doesn't know all the laws when it comes to zoning. She admitted to the calls and the texts and the inquiries regarding strange trucks in her neighborhood. Regarding the late date she was in the hospital and wasn't able to get the paperwork together. She had no malicious intent and wants the best for her neighborhood.

Chairman Bloemandaal made a motion to close the public hearing.
Commissioner Rouse second, all were in favor.

Mr. Murphy added regarding zoning Carolina Beach has dozens of streets that are divided. Stated 4th Street is another division of R1 and R3 right down the middle and within the town it's not uncommon. The basic definition of spot zoning is when rezoning a piece of property and surrounded by a larger area of uniform zoning. This is not the case of spot zoning.

Commissioner Kennedy asked Mr. Murphy was there a purpose for the zoning to be down the middle of the street. He added that we use streets because they are consistent and it makes it

easier to divide which played a factor whenever the lines were drawn decades ago.

Commissioner LeCompte stated there are 15 lots that are Non-Conforming. If the zone is changed there would be more lots that would become non-conforming. We need to consider the families that have invested in lots with the thoughts of building multi-family units. Feels it makes sense to leave it as R1.

Commissioner Rouse just to confirm, the request is to move the line that currently is in the middle of the street south a half a block on the rear property boundary, correct. Mr. Hardison replied correct it would go down the middle of the block between Spartanburg and Sumter.

Commissioner Kennedy just to restate there are 4 lots with 4 duplexes they can submit preliminary plans down the road correct. Mr. Hardison stated this board would make a recommendation and then it would go to Town Council for August 10th meeting. She stated Land Use Plans are designed and developed for many reasons one is for consistency and how we want the community to be.

Commissioner Boswell asked if there were any HOA's in place for any of the lots. Mr. Hardison replied there are no HOA's in the area but there could be when there are multiple units on a property.

Chairman Bloemandaal spoke with Ms. Graybush regarding the lots when they went on the market and was not comfortable with them as a builder. Stated going from R1 to R3 the setbacks go from 20' to 25' and a height limit from 50' to 40' and density changes from 15 to 3.6. In doing so all of the properties would be devalued in his opinion. Feels building a duplex across the street from a single-family house does not devalue a house.

Commissioner Hoffer stated zoning is for consistency, for comfort and when you buy a house you know what you're getting.

Commissioner Kennedy spoke on the options that the neighborhood could look into HOA's for the neighborhood.

Commissioner Ittu stated his concerns and that is this zoning has been in place since the 80's and if passed properties would be devalued and he is not in favor of this.

Commissioner Rouse suggested that someone from P&Z attend the next Town Council meeting August 8th. Commissioner LeCompte will be there.

ACTION: Commissioner Boswell made the motion the commission deny the adoption of the following ordinance amendment based on inconsistencies with the goals and objectives of the adopted Land Use Plans and/or other long range planning documents.

Commissioner LeCompte seconded, all were in favor (5-0).

Vote: UNANIMOUS

- b. Text Amendment: Sign Ordinance Update
Text Amendment: Update Sign Ordinance -Reed V. Town of Gilbert 2015

JUNE 13TH, 2019 -

Mr. Murphy reported on the Sign Ordinance and stated this is no longer a Text Amendment. This is more of an education discussion and will be reworked and possibly back to P&Z in August. This is a work in progress which we will be coming back with a draft and asking for your input.

Background

- Sign ordinances are utilized primarily for aesthetical and economic purposes
- Free speech generally overrides any state, county, or local sign ordinance
- Sign ordinances may not be “content-based” in almost all circumstances

Supreme Court Decision

- In 2015 the Supreme Court heard the case of Reed V. Town of Gilbert
- The Town of Gilbert had a sign ordinance with 23 exempted categories and each category was treated differently based on the content
- The Ninth Circuit Court of Appeal initially upheld the exceptions
- The Supreme Court determined that the sign ordinance and its exceptions were based on the “face” since the content of the signs dictated their limitations

Local Ordinance Implications

- CB sign ordinance currently has 11 sign categories that are regulated individually and are based on content
- Governmental
- Window/door signs
- Real Estate/off-site
- Political
- Open
- Patriotic
- Government required
- Construction/Future Development
- Subdivision
- Nonprofits
- Special events

Revisions

- Addition of location restriction to prevent traffic sight distance triangle obstructions
- Addition of a catch-all category for “temporary non-commercial signage” with regulations pertaining to aesthetics and time-frames only.
- Remove categories specifically regulating Construction, future development, political, patriotic, and real estate signs.
- Clarified/corrected language throughout Article 8

New Regulations for Signs Allowed without Permits

(1) Temporary non-commercial signage.

a. One temporary sign related to an activity or event may be placed on a parcel 30 days prior to said activity/event, remain up during said activity/event, and must be removed within 10 days of the

conclusion of said activity/event.

b.This sign must be non-illuminated and may not exceed 20sqft or 5ft in height.

c.The person, party, or parties responsible for the erection or distribution of any such signs shall be jointly liable for the removal of such signs.

d.The property occupant or, in the case of unoccupied property, the property owner, shall be responsible for violations on a particular property.

e.No temporary signage is permitted in the public right-of-way.

f.Off-site directional signage must be related to an event, will only be permitted while the activity/event is on-going, and must be removed within 48 hours of the conclusion of said activity/event.

g.No commercial business or product shall be advertised on a residential property.

Amend Chapter 40, Article VIII Sign Regulations

(1) It is recommended that Planning and Zoning open the public hearing for comments.

(2) Close the public hearing

(3) Consider approval or denial of the proposal and make a motion according to the appropriate statement.

New Statutory Requirements

The General Assembly amended G.S. 153A-341 and 160A-383 to add more specificity to the law regarding the mandated plan consistency statements.The amended statute still requires approval of a statement and the statement still must describe plan consistency and explain why the proposed action is **reasonable and in the public interest**.However, the form of the required statement has changed.The statement must take one of these forms:

- A Statement of Approval –The Commission, whereas in accordance with the provisions of the NCGS 160A-383, does hereby find and determine that the adoption of a Text Amendment: To amend Chapter 40 Article VIII to update the sign ordinance to comply with the 2015 Supreme Court decision is consistent with the goals and objectives of the adopted Land Use Plan and other long range plans. (If applicable -List any recommended restrictions or requirements)

- A Statement of Denial –Town Council deny the adoption of the following ordinance amendment based on inconsistencies with the goals and objectives of the adopted Land Use Plan and/or other long range planning documents.

DISCUSSION ITEMS

a. Stormwater and BMP Discussion

Mr. Murphy reported on Stormwater ordinance rewrite and we are still working on this and at present these are very generic proposals. He looked at other communities such as Pawley's Island with population of 100 and they have some bad stormwater problems and some strict stormwater solutions for deal with it. Another was off the coast at Bellevue, Washington which is categorically larger then Carolina Beach. They have a bunch of triggers in regards to stormwater management and how they utilize BMP's and on-site. Looked in Atlanta they have some excellent ideas for green infrastrurcture. Haddenfield, New Jersey as well as Nags Head. Looking at different communities and finding what's been successful, some focus on BMP or on-site development and others have their citizens be more responsible.

Stormwater Ordinance Proposals

1. Driveways and parking cannot be impervious
 - a. Lot coverage/SW practices for all parcels shall remain the same
 - b. All driveways and parking associated with both residential and commercial development shall be required to be compromised of pervious materials.

2. Impervious surfaces are limited to 60%.
 - a. Lot coverage will remain the same
 - b. Impervious surfaces will be reduced to soft cap of 60% of a lot.
 - i. This would provide 40% (zone depending) for structures and another 20% for driveways, sidewalks, patios, etc.
 - c. Additional "hardscaping" could be completed only if:
 - i. all stormwater from the development is contained onsite OR
 - ii. Fee is \$5.00/sqft for any development beyond the lots 60% soft cap OR
 - iii. All is pervious

3. Lot Coverage and Impervious are the same limit
 - a. Lot coverage and impervious surfaces will both be limited based on zoning district.
 - b. Any additional hardscaping for driveways, sidewalks, or additional development is only permitted if:
 - i. All stormwater can be retained onsite
 - ii. If the materials utilized are permeable so that there is no additional runoff created.

4. Consider BMPs
 - a. Downspout disconnections
 - b. Rain barrels
 - c. Other ideas?

Questions for Mr. Murphy -

Commissioner Kennedy would like Mr. Murphy to research the option of a Reclaiming Systems for the residents as well as the town feels this needs to be town wide.

Chairman Bloemandaal asked for some examples of Hardscaping. Mr. Murphy replied Hardscaping is our term for anytime you reduce the natural landscape down to concrete, asphalt. Going from a permeable surface such as dirt, grass, sand, drip through decking to a non-pervious surface like concrete, asphalt. Chairman Bloemandaal would like examples for duplexes and also the consideration of each unit. And to research as many options like what Tracy Skrabal from NC Coastal Federation had presented to P&Z.

Commissioner Boswell added the possibility of adding the Reclaiming Systems such as rain gardens around the lake posting with some education behind it.

Commissioner Hoffer would like to have some consideration to lot sizes and to encourage eliminating of fees.

ACTION: Review proposed ordinance ideas and provide feedback.

Vote: UNANIMOUS

- **NON-AGENDA ITEMS**

Mr. Hardison spoke regarding the election of the P&Z Commissioners, Town Council approved the current members to be reappointed.

Commissioners voted to keep Chairman Bloemandaal and Vice Chair LeCompte for another year.

Commissioner Rouse seconded, all were in favor (7-0).

- **ADJOURNMENT**

Commissioner LeCompte made a motion to adjourn the meeting.

Commissioner Rouse seconded, all were in favor (7-0).



AGENDA ITEM

Meeting: Planning and Zoning - 08 Aug 2019

Prepared By: Miles Murphy

Department: P&Z

Conditional Use Permit Modification - Hurricane Alleys - 5 Boardwalk

BACKGROUND:

Applicant: David Cole

Location: 5 Boardwalk – Hurricane Alleys

The applicant, David Cole, is requesting a Conditional Use Permit (CUP) to modify an existing CUP from 2014 for Hurricane Alleys to construct/expand a rooftop bar and deck. The building is 1,700 sq. ft. and has a 500 sq. ft. elevated deck with an outside patio area below. The establishment will operate in the same manner and continue to serve food. The hours of operation are not proposed to change and will be from 11:00am – 2:00am.

Zoning

Hurricane Alleys was approved as an eating establishment in February 2012 and is currently permitted as a private club by the ABC commission and a bar by Carolina Beach. The applicant would like to modify his CUP to renovate the rooftop portion of his establishment to provide more seating/space and place an additional bar.

The property is located in the Central Business District (CBD). Bars are allowed by conditional use permits in the CBD. A trash collection area will be provided in a container in the Central Business District. The structure is located in the VE-16 flood zone and is in a CAMA AEC. There are no changes proposed in the footprint of the existing building. There are no distance requirements between bars in the CBD.

Specific standards. No conditional use shall be granted by town council unless the following provisions and arrangements, where applicable, have been made to the satisfaction of the council:

- (1) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe;

- There is only pedestrian access to the property. When the town approved the deck and patio area in March 2012 the applicant agreed to dedicate a 5' access easement to the town (in front of deck). The easement has not been executed at this time and the town request this to be completed as a condition of the approval (Appendix 4).

- Tables will need to be situated as to not block the ingress and egress. Because of the outside patio a barrier between the outside patio and the sidewalk with proper signage approved by the police department stating no alcohol beyond this point.

(2) Off-street parking and loading areas where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district;
 - 7.1 (c) Waiver of Parking Requirements in Central Business District. States "Where properties are located within the CBD, parking requirements may be waived if public parking spaces adequate to meet the requirement are located within 500 feet of the use." Due to the size of the parcel and existing building, it would be impossible for the applicant to provide parking on site. The boardwalk area has public parking in the vicinity of the proposed bar.

(3) Refuse and service area, with particular reference to the items in (1) and (2) above;
 - Refuse collection agency is handled collectively by the boardwalk area businesses. The owner will be required to continue to participate in this program.

(4) Utilities, with reference to locations, availability, and compatibility;
 - The impact on utilities and the environment will be the same; therefore, no upgrades in utilities are required.

(5) Screening and buffering with reference to type, dimensions, and character;
 There is no existing landscaping on the sides of the property abutting the adjacent commercial uses. The use is going into an existing commercial unit and the landscaping requirements only apply to new development or expansions.

(6) Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
 - A sign permit must be obtained for any new signs located on the property.

(7) Required yards and other open space and preservation of existing trees and other attractive natural features of the land.
 - The structure was built in 1953 and covered the entire lot. There are no existing trees on the parcel and no changes proposed in the footprint of the existing building.

General conditions. The town council, in granting the permit, must also find that all four (4) of the following conditions exist;

(1) That the use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved by the issuance of the C.U.P.;
 - The Alcohol will be regulated by the ABC commission. ABC's regulations are designed to ensure health and safety issues are addressed. Inspections are ongoing by the agency after the site opens.

(2) That the use meets all required conditions and specifications;
 - Town staff has reviewed the proposal to ensure it meets all code requirements.

(3) That the use will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity; and
 - The use as been open since 2012 and the town has not received any complaints from the adjoining or abutting properties.

(4) That the location and character of the use if developed according to the plan as submitted and approved will be in harmony with the area in which it is to be located and in general conformity with the town land use plan and policies.
 - Located in the Commercial 2 Land Classification Area as described in the 2007 Land Use Plan, this area's predominant uses will be for tourist and family-oriented retail and services, with other considerably less vehicle-dependent commercial businesses such as offices, commercial lodgings, restaurants, and entertainment. It is therefore staff's opinion that this use is in general conformity with the 2007 LUP.

ACTION REQUESTED:

Recommend approval of the Conditional Use Permit modification –
 For the addition/expansion of the rooftop deck to include additional seating and a bar at Hurricane Alleys

The project is located in the Commercial 2 district area of the Land Use Plan. The proposed project is consistent with the 2007 Land Use

Plan. The desired Future Land Use of the Commercial 2 area includes tourist and family-oriented retail and services, with other considerably less vehicle-dependent commercial businesses such as offices, commercial lodgings, restaurants, and entertainment.

**COMMITTEE
RECOMMENDATION:**

TRC recommends the approval of the CUP modification.

ATTACHMENTS:

[CUP 19-C04 Hurricane Alley Reno
Plans 1
plans 2](#)



**Conditional Use Permit
TOWN OF CAROLINA BEACH, N.C.**

Permit Number: 19-C04

Each application must be printed or typewritten and have all information answered. **It is required that the applicant set up a meeting with Planning Staff prior to the submission deadline to ensure the application is complete.** The Town of Carolina Beach requires a licensed attorney to appear in a representative capacity to advocate the legal position of another firm, or corporate entity that is the applicant/owner of record.

The Planning Department, Planning and Zoning Commission and/or Town Council reserves the right to require additional information if needed to assure that the use in its proposed location will meet the be developed in accordance with the Code of Ordinances of the Town of Carolina Beach.

Major and minor projects; application fees. The owner or owners, or their duly authorized agent, of the property included in the application for a conditional use permit shall submit a complete application and supplemental information to the Zoning Administrator. A fee in accordance with the Town's adopted schedule of fees, payable to the Town of Carolina Beach, must accompany each application. For the purposes of determining the fee, the Zoning Administrator shall categorize each such Conditional Use Permit Application as either "major" or "minor", depending upon the complexity of review. Generally, Planned Residential (over 3 units), Mixed Uses, Business Developments, and similarly complex projects shall be categorized as "major", while projects such as bed and breakfast inns, small day care services, etc. shall be categorized as "minor".

Major Conditional Use Permit = \$ 800.00
Minor Conditional Use Permit = \$ 350.00

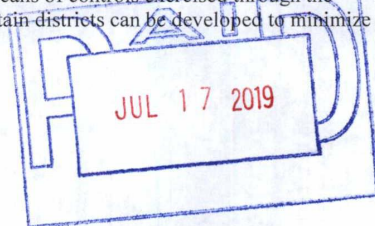
****Fees are nonrefundable after item has been sent for advertisement****

This permit will be scheduled for the next possible Technical Review Committee.

2019 Submission Deadlines & Meeting Dates					
Technical Review Committee		Planning & Zoning Commission		Town Council	
Submission	Meeting	Submission	Meeting	Submission	Meeting
Jan 7	Jan 22	Dec 27	Jan 10	Dec 27	Jan 8
Feb 4	Feb 18	Jan 31	Feb 14	Jan 30	Feb 12
Mar 4	Mar 18	Feb 28	Mar 14	Feb 27	Mar 12
Apr 1	Apr 15	Mar 28	Apr 11	Mar 27	Apr 9
May 6	May 20	Apr 25	May 9	May 1	May 14
June 3	June 17	May 30	June 13	May 29	June 11
1-1 July 1	July 15	June 27	July 11	June 26	July 9
2-1 Aug 5	Aug 19	1-1 July 25	Aug 8	July 31	Aug 13
Sept 2	Sept 16	1-2 Aug 29	Sept 12	1-3 Aug 28	Sept 10
Oct 7	Oct 21	Sept 26	Oct 10	2-3 Sept 25	Oct 8
Nov 4	Nov 18	Oct 31	Nov 14	Oct 30	Nov 12
Dec 2	Dec 16	Nov 28	Dec 12	Nov 20	Dec 10
Jan 6	Jan 20	Dec 19	Jan 9	Dec 31	Jan 14
Board	# Copies Full Size	# Copies Electronic	Recipients		
TRC	9	1	1 Manager, 3 Planning, 1 Fire, 1 Police, 2 Operations, 1 Admin		
P&Z	9	1	7 P&Z, 1 Manager, 2 Planning, 1 Secretary, 1 Island Gazette		
Town Council	9	1	5 Town Council, 1 Manager, 1 Planning, 1 Clerk, 1 Island Gazette		

PURPOSE

Conditional use permits add flexibility to the zoning regulations. Subject to high standards of planning and design, certain property uses may be allowed in certain districts where these uses would not otherwise be acceptable. By means of controls exercised through the conditional use permit procedures, property uses which would otherwise be undesirable in certain districts can be developed to minimize any adverse effects they might have on surrounding properties.



July 15 2pm

Please complete all sections of the application.

A. Property Information

Address(es): 5 BOARDWALK

PIN(s): _____

Project Name Hurricane Alleys Renovation

Size of lot(s): _____

B. Application for Conditional Use Permit

Application is hereby made for a Conditional Use Permit for use of the property described above as a (please provide a brief description of the use):

To expand the building so it can take
advantage of the best views in this town.

C. Applicant Contact Information

Hurricane Alleys
Company/corporate Name (if applicable):

DAVID COLE
Applicant's Name

205 Greenville Ave
Mailing Address

CB NC 28428
City, State, and Zip Code

(910) 471-1040
Telephone

CoastClean Llc @ yahoo.com
Email

D. Owner Contact Information (if different)

David Cole
Owner's Name

Mailing Address

City, State, and Zip Code

Telephone

Email

General conditions. Council, when granting a conditional use permit, shall find that all four of the following factors found in Chapter 40 Article XI exist. In the spaces provided below, indicate the facts and arguments that prove you meet the following conditions:

1. Indicate how the proposed CUP will not adversely affect health or safety if located where proposed and developed according to the plan submitted:

I plan on Meeting All Local, State, And Fed. Regulations. I am only extending the length of the deck.

2. Indicate if the proposed Conditional Use Permit meets all required conditions and specifications or if any waivers are requested:

Yes, it Meets All required Conditions

3. Indicate how the proposed Conditional Use Permit will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity:

My Addition should increase Values of Adjoining Property.

4. Indicate that the location and use of the proposed Conditional Use Permit, if developed according to the plan as submitted, will be in harmony with the area in which it is to be located and in general conformity with the Town of Carolina Beach's Land Use Plan and policies.:

It will give visitors the opportunity to enjoy the views of the Atlantic Ocean. It gives opportunity for more locals and visitors to view the fireworks.

Specific standards. No conditional use shall be granted by Town Council unless the following provisions and arrangements where applicable, have been made to the satisfaction of the council.

1. Indicate how the Ingress and egress to the property and proposed structures in reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe:

Located on Sidewalk

No Parking

2. Indicate how the off-street parking and loading areas met, and how the economic, noise, glare, or odor of the propose use will affect the adjoining properties.

No Parking

3. Indicate how the refuse and service area, will be handled.

All Trash ~~are~~ ^{is} discarded in Towns Dumpsters

All Glass ~~are~~ ^{is} placed in recycle bins

4. Indicate how adequate and proper utilities, with reference to locations, availability, and compatibility are to be provided or how the item listed are not applicable to the proposed CUP.

None

5. Indicate how screening and buffering with reference to type, dimensions, and character will be provided or why it is not provided for;

NA

6. Indicate how signs, if any, and the proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;

No Glare From Lighting

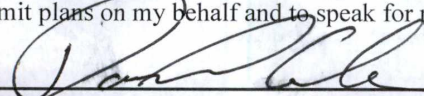
7. Indicate the required yards and other open space and preservation of existing trees and other attractive natural features of the land.

NA

SUPPLEMENTAL INFORMATION REQUIRED WITH THE APPLICATION

1. Detailed project narrative describing the proposed site and request.
2. Agent form if the applicant is not the property owner
3. Request for site specific development plan shall be submitted in accordance with Chapter 40 Article

OWNER'S SIGNATURE: In filing this application for a conditional use permit I/we as the property owner(s), hereby certify that all of the information presented in this application is accurate to the best of my knowledge, information and belief. I hereby designate Ned M. Barner To act on my behalf regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to speak for me in any public meeting regarding this application.


Signature

6/11/19
Date

Check the box beside each item verifying that the item has been submitted with this application

I. Site Plan Criteria

For new construction all boxes in this section shall be marked yes by the applicant to be considered a complete application.

- | <u>Yes</u> | <u>No</u> | <u>N/A</u> | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The name, address, and phone number of the professional(s) responsible for preparing the plan if different than the applicant. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Engineers scale 1 inch = 40 ft or larger |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Title block or brief description of project including all proposed uses |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Date |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | North arrow |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Property and zoning boundaries |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The square footage of the site |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Lot coverage (buildings, decks, steps) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and proposed structures and the setbacks from property lines of all affected structures to remain on-site |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Design of driveways and parking |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent right-of-ways labeled with the street name and right of way width |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and/or proposed easements |

Additional information or data as determined necessary by town staff and/or other reviewing agencies including but not limited to the following may be required:

- | <u>Yes</u> | <u>No</u> | <u>N/A</u> | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location and design of refuse facilities |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Approximate locations and sizes of all existing and proposed utilities |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Existing and/or proposed fire hydrants (showing distances) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent properties with owners' information and approximate location of structures |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Distances between all buildings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Number of stories and height of all structures |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Locations of all entrances and exits to all structures |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Calculate the gross floor area with each room labeled (i.e. kitchen, bedroom, bathroom) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be use |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of flood zones and finished floor elevations |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | CAMA Areas of Environmental Concern (AEC) and CAMA setbacks |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Delineation of natural features and wetlands with existing and proposed topography with a maximum of two foot contour intervals |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Proposed landscaping including percentages of open space |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Stormwater management systems |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Cross-sectional details of all streets, roads, ditches, and parking lot improvements |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building construction and occupancy type(s) per the building code |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of fire department connection(s) for standpipes |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Turning radii, turnarounds, access grades, height of overhead obstructions |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dimensions and locations of all signs |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A vicinity map drawn with north indicated |

- I have provided a scaled electronic version of each required drawing
- I have folded all plans to 8 1/2" x 11" size and am prepared to pay the application fee today

GROSS ROOF COMPONENT UPLIFT PRESSURES (ROOF PITCH)¹

AREA ^{2, 4}	ZONE 1 ⁴	ZONE 2 ⁴	ZONE 3 ⁴
10 sq. ft.	21.52 / -84.29 PSF	21.52 / -84.29 PSF	21.52 / -133.60 PSF
20 sq. ft.	20.17 / -82.94 PSF	20.17 / -82.94 PSF	20.17 / -106.41 PSF
50 sq. ft.	18.34 / -81.15 PSF	18.34 / -81.15 PSF	18.34 / -70.93 PSF
100 sq. ft.	17.04 / -79.80 PSF	17.04 / -79.80 PSF	17.04 / -43.94 PSF

ROOF PRESSURE NOTES:

- ROOF PRESSURES MAY BE USED IN DESIGN OF CONNECTIONS, DECKING, BAR JOISTS, AND FINISH MATERIAL.
- AREA TO BE DETERMINED BY (SPAN)² DIVIDED BY 3 OR ACTUAL TRIBUTARY AREA, WHICHEVER IS GREATER.
- ROOF PRESSURES SHOULD BE USED TO DETERMINE REQUIRED DESIGN PRESSURES FOR RIGIDS & SKYLIGHTS AS WELL AS IN THE DESIGN OF FINISH MATERIAL AND ATTACHMENTS.
- INTERPOLATION OF VALUES IS PERMITTED.
- FOR OVERHANG ADD APPROPRIATE WALL PRESSURE TO THE UNDERSIDE OF THE OVERHANG.
- DESIGN PRESSURES SHOWN IN TABLE ARE STRENGTH DESIGN WIND PRESSURES. ALLOWABLE STRESS DESIGN WIND PRESSURES MAY BE CALCULATED BY MULTIPLYING TABLE PRESSURES BY 0.6.
- DEFLECTIONS MAY BE CALCULATED BASED ON 42% OF THESE LOADS OR (0.7 X ALLOWABLE STRESS DESIGN PRESSURES)

GENERAL NOTE:

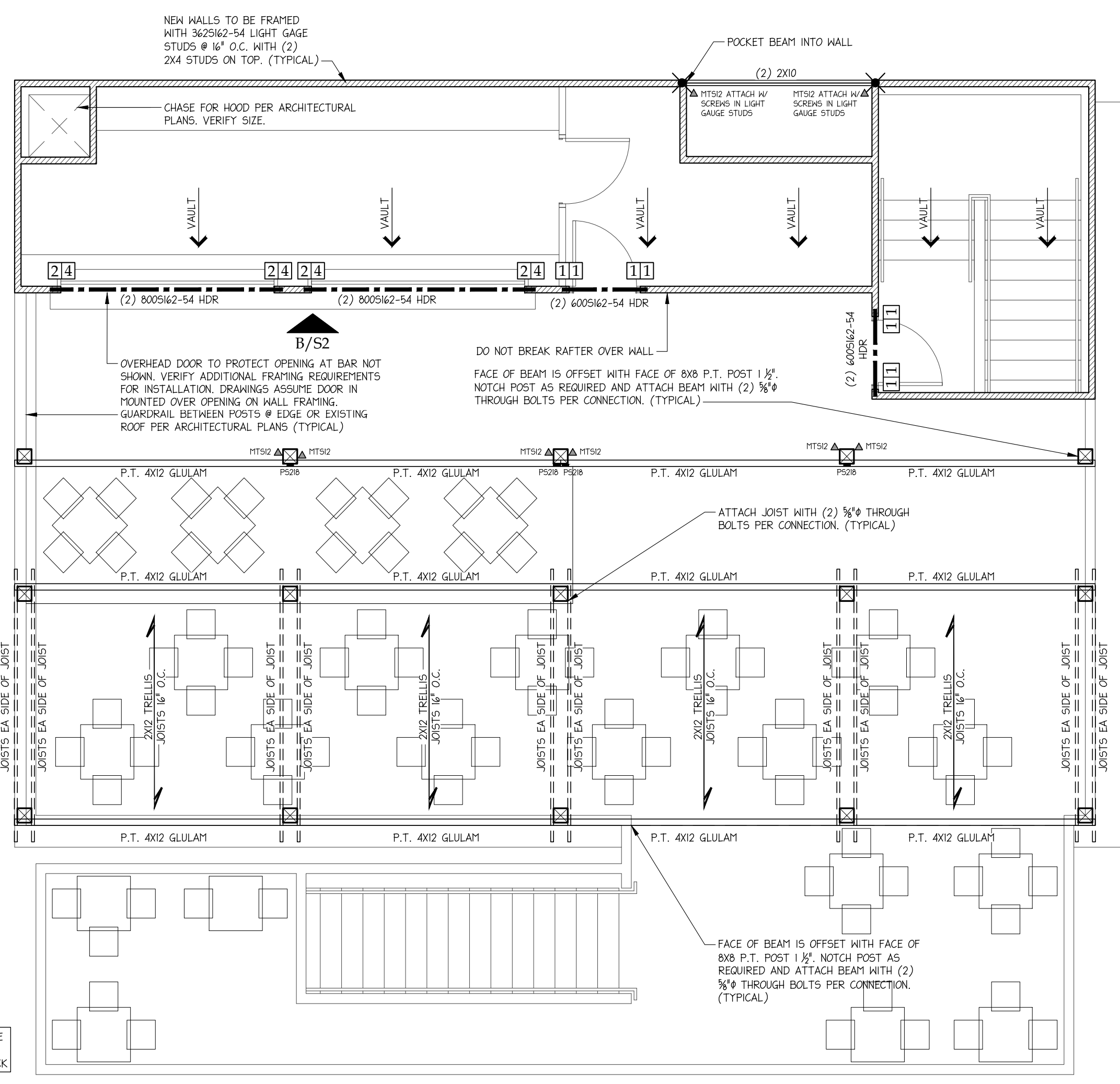
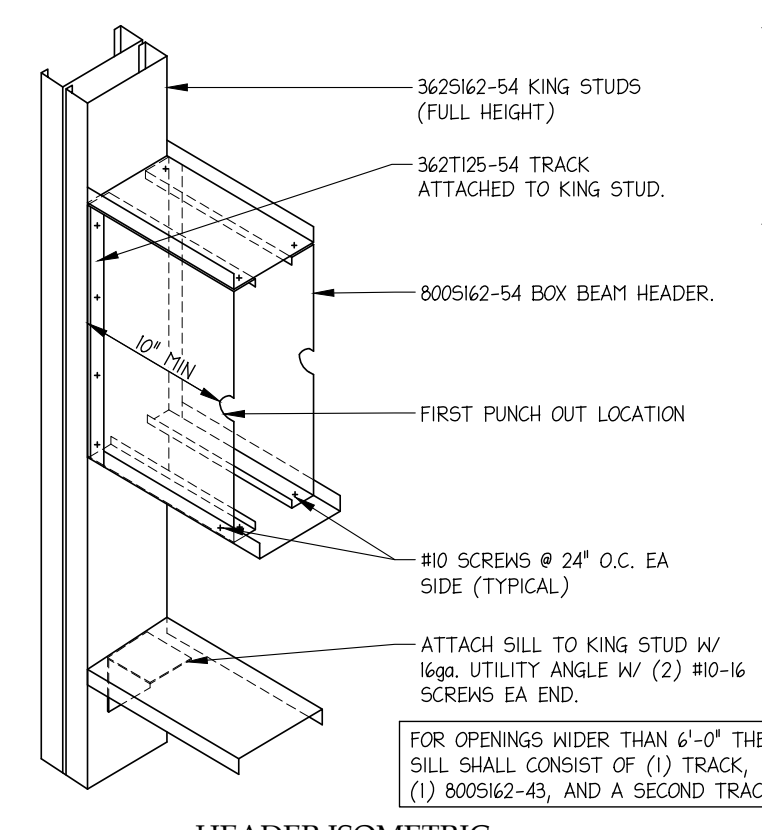
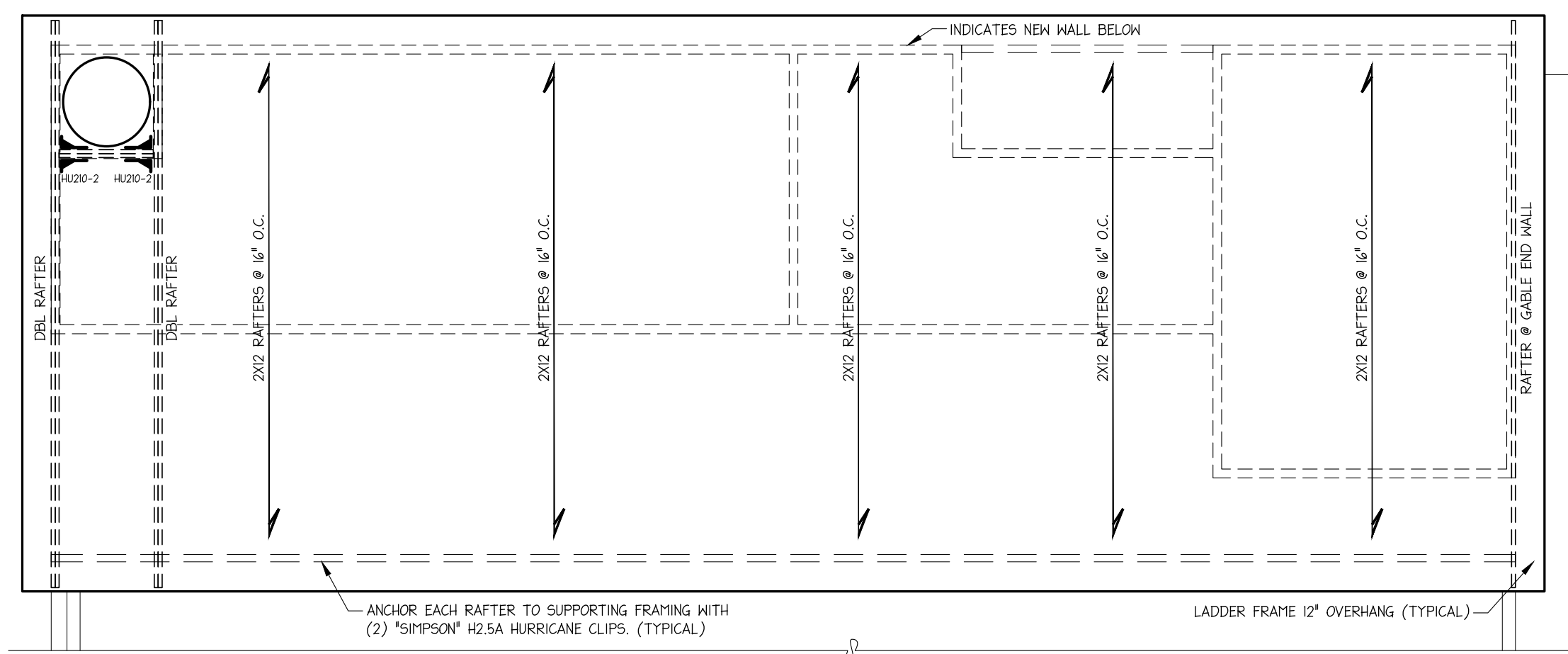
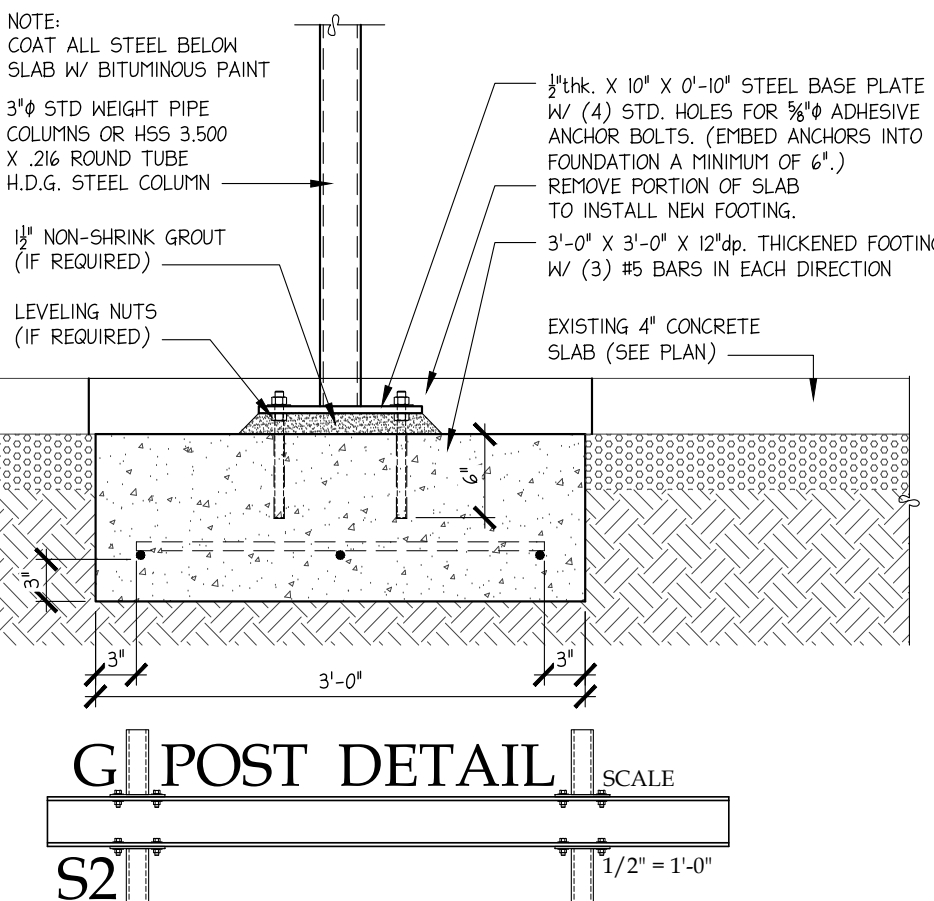
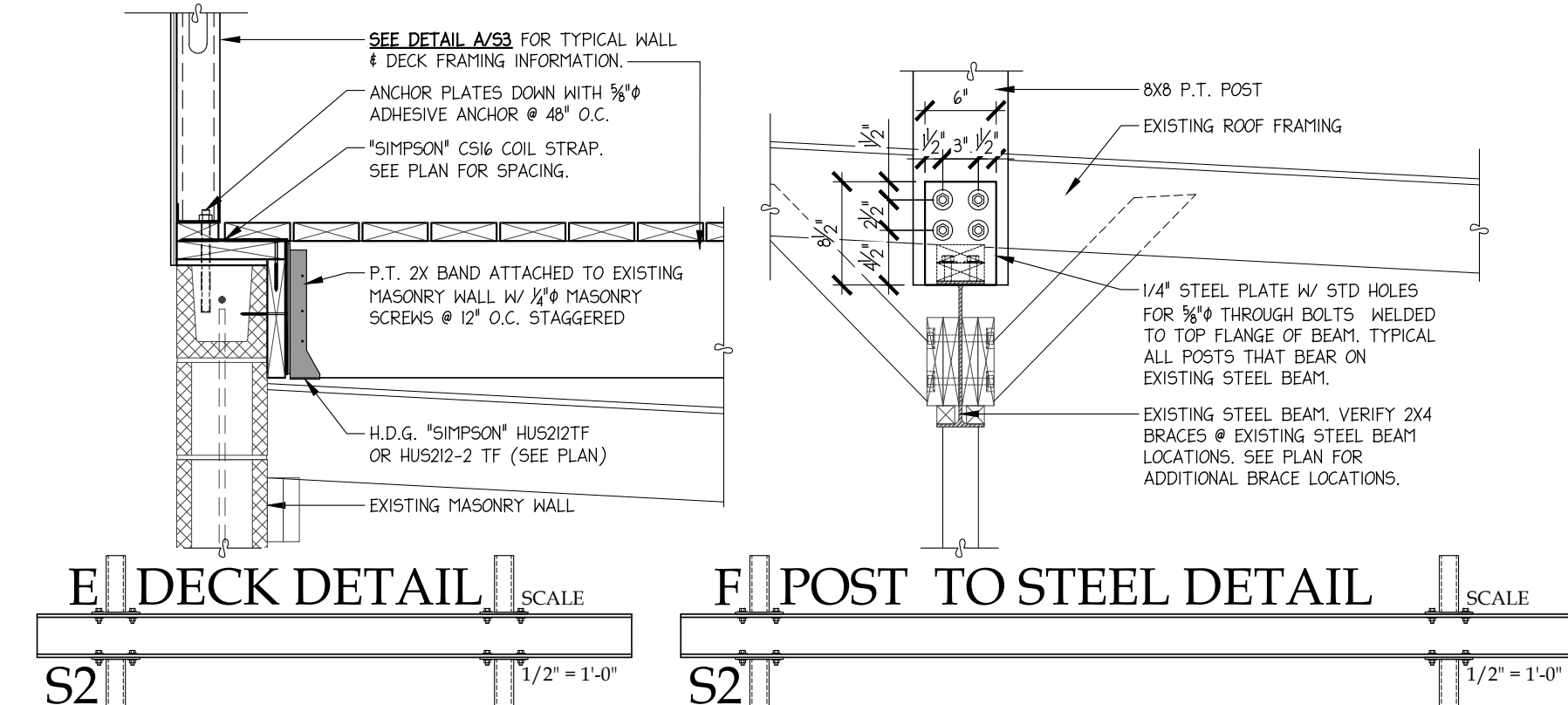
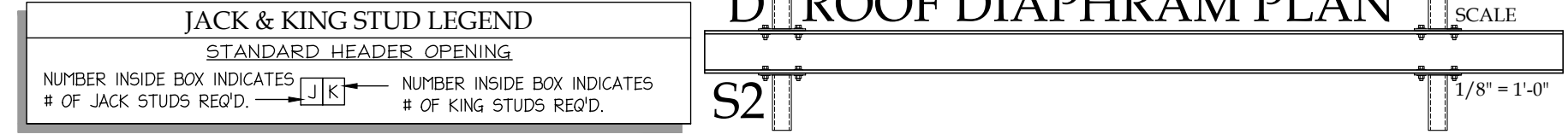
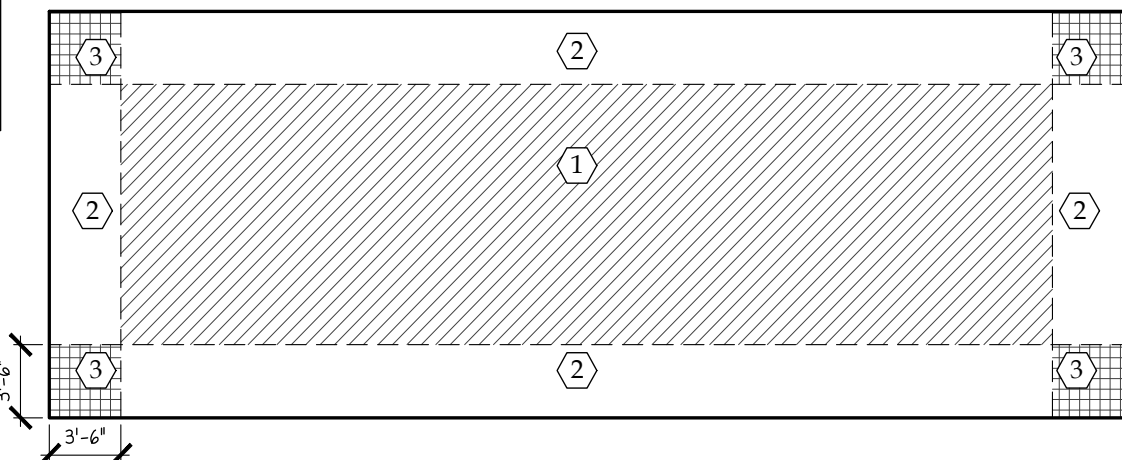
ENGINEER RESPONSIBLE FOR ALL STRUCTURAL COMPONENTS ON THIS DRAWING. ALL DIMENSIONS AND DETAILS MAY NOT BE SHOWN AND ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS TO VERIFY WITH ENGINEER ANY ADDITIONAL DETAILS REQUIRED FOR CONSTRUCTION. PLEASE CONTACT OUR OFFICE IF ANY DISCREPANCIES ARE FOUND.

ZONE ROOF SHEATHING NAILING PATTERN W/ RAFTERS

ZONE	ROOF SHEATHING NAILING PATTERN W/ RAFTERS
1	ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE ROOF FRAMING (NO BLOCKING REQUIRED) - SEE NOTE 2
2	ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 4" O.C. ALONG PANEL EDGES AND 8" O.C. AT INTERMEDIATE ROOF FRAMING (PROVIDE BLOCKING AT PANEL EDGES WITHIN 4'-0" OF GABLE END WALLS & ATTACH ROOF SHEATHING TO BLOCKING W/ 8d NAILS AT 3" O.C.)
3	ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 4" O.C. ALONG PANEL EDGES AND 4" O.C. AT INTERMEDIATE ROOF FRAMING (PROVIDE BLOCKING AT PANEL EDGES WITHIN 4'-0" OF GABLE END WALLS & ATTACH ROOF SHEATHING TO BLOCKING W/ 8d NAILS AT 4" O.C.)

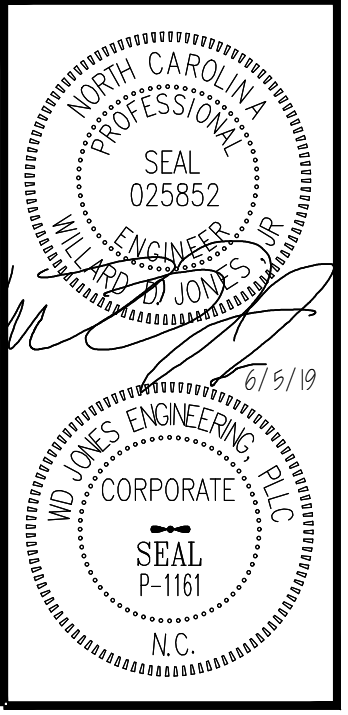
ROOF DIAPHRAGM NOTES:

- FOR ALL ROOF SHEATHING CONNECTIONS, WHERE NAILS ARE SPECIFIED, USE DEFORMED OR SCREEN SHANK NAILS.
- 12" O.C. SPACING MAY NOT BE ADEQUATE FOR SOME PANELS, DECREASE SPACING AS REQUIRED TO SECURE HARDED PANELS OR ENSURE ALIGNMENT.
- PLYWOOD SHEATHING TO BE PRESSURE TREATED IF EXPOSED TO WEATHER.
- ALL PANELS ADJACENT TO WALLS & RIDGES MUST BE AT LEAST 24" WIDE.
- ALL PANELS @ EDGES OF ROOF OVERHANGS, VALLEYS, AND HIPS MUST BE AT LEAST 2'-8" LONG (ON AVERAGE) WHENEVER POSSIBLE.
- WHEN RIDGE VENTS ARE USED, PROVIDE BLOCKING AS REQUIRED AT PANEL EDGES UNDER VENT.



NO.	REVISION/DATE	INT.

Hurricane Alley's
5 Boardwalk
Carolina Beach, NC
PROJECT DESCRIPTION: RENOVATION
DRAWN BY: J.L.T. DATE: 06-5-2019
PROJECT NO: 18317
REVISION BY: W.D.J.



WD JONES ENGINEERING, PLLC
EMAIL: OFFICE@WDJONESENGINEERING.COM
PHONE: 910-523-5381
100 B OLD EASTWOOD ROAD, UNIT 24
WILMINGTON, N.C. 28403

SHEET S2 3

STRUCTURAL INFORMATION FOR APPENDIX B
STRUCTURAL DESIGN

DESIGN LOADS:

IMPORTANT FACTORS: SNOW (s) 1.0
SEISMIC (se) 1.0

LIVE LOADS: ROOF 20 PSF
FLOOR 100 PSF

GROUND SNOW LOAD: 10 psf
WIND LOAD: BASIC WIND SPEED 150 mph (ASCE 7-16)
EXPOSURE CATEGORY C

SEISMIC DESIGN CATEGORY: A B C D

Provide the following Seismic Design Parameter:

RISK CATEGORY (TABLE 1604.5) I II III IV

SPECTRAL RESPONSE ACCELERATION S_s 2.23%g S_1 0.23%g

SITE CLASSIFICATION (ASCE 7-16) A B C D E F

Data Source: Field Test Presumptive Historical Data

BASIC STRUCTURAL SYSTEM (ASCE 7-16)

Bearing Wall Dual w/ Special Moment Frame
 Building Frame Dual w/ Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
ANALYSIS PROCEDURE: Simplified Equivalent Lateral Force Dynamic

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITY:

Field Test (Provide copy of test report) N/A psf

Presumptive Bearing Capacity 2,000 psf

Pile size, type, & capacity N/A psf

DESIGN CRITERIA NOT INCLUDED IN APPENDIX B:

WIND: Internal Pressure Coefficient: +/- 0.18
Components and Cladding Pressures: As listed on plans.
Risk Category = II
 V_{ref} = 116 mph

SEISMIC: S_{DS} = 0.228 S_{D1} = 0.233
Response Modification Factor, R = 2
Seismic Response Coefficient C_s = 0.119
Seismic Base Shears V_s = 24 Kips V_1 = 24 Kips

FLOOD: Zone AE 10
Flood Design Class: II

GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE.
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION WHEN APPLICABLE.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND OTHER DOCUMENTS.
- STRUCTURAL FRAME TO BE BRACED UNTIL ERECTION IS COMPLETE.
- ORIGINAL STRUCTURAL PLANS USED TO DETERMINE EXISTING CONDITIONS AND DESIGN LIVE LOADS.

FOUNDATION NOTES:

- FOOTING AND SLAB DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. (FIELD VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION.)
- REMOVE ALL TOPSOIL, ORGANIC, AND SOFT CLAY IN AREAS WHERE FLOOR SLABS AND FOOTINGS ARE TO OCCUR AND ALSO 5'-0" BEYOND EACH SIDE OF BUILDING FOOTPRINT. PROOF ROLL EXPOSED SUB GRADE WITH A 3 TON VIBRATOR ROLLER MAKING 3 PASSES IN EACH DIRECTION. BACK FILL WITH CLEAN SELECTED FILL COMPACTED IN 8" LAYERS TO 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT (ASTM D-1557).
- WHEN BOTTOM OF FOOTING IS AT OR BELOW WATER TABLE, PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE.
- FOOTINGS SHALL BEAR ON NATURAL, UNDISTURBED EARTH, OR ENGINEERED FILL BELOW FROST DEPTH. IN AREAS NOT SUBJECT TO FREEZING, FOOTINGS SHALL BE AT LEAST 1'-0" BELOW FINISHED GRADE.

LIGHT GAUGE STEEL FRAMING NOTES:

- ALL LIGHT GAUGE STEEL COMPONENTS ARE BASED ON "TELLING" (TELLING INDUSTRIES) SPECIFICATIONS. (WEBSITE: BUILDSTRONG.COM)
- ALL LIGHT GAUGE STEEL FRAMING SHALL BE COLD FORMED STEEL STRUCTURAL MEMBERS DESIGNED BY LATEST SPECIFICATIONS OF A.I.S.I.
- GALVANIZED STEEL STUDS, 12, 14, AND 16 GAGE, SHALL CONFORM TO A 653, 50, GRADE 50 CLASS 1, WITH F_y = 50 KSI GALVANIZED STEEL STUDS, 18 AND 20 GAGE, SHALL CONFORM TO A 653, 50, GRADE 33, WITH F_y = 33 KSI.
- ALL HELDS TO BE MADE BY A CERTIFIED WELDER OF AHS FOR TYPE OF WELD REQUIRED. WELDING ELECTRODES = E70 SERIES.
- BRIDGING IN LOAD BEARING WALLS SHALL BE AT 5'-0" O.C. WITH (2) ROWS BRIDGING MAX. NOTE: THIS PROJECT DOES NOT INVOLVE LOAD BEARING WALLS.
- SCREENS: SCREEN PENETRATION THROUGH JOINED MATERIALS MUST BE A MINIMUM OF THREE EXPOSED SCREEN THREADS. SPACING AND EDGE DISTANCE SHALL BE 1/2" OR MORE (OR AS SPECIFIED BY SCREEN MANUFACTURER.)
- ITEMS LISTED AS DEFLECTION TRACKS ARE TO BE DEEP LEG TRACKS WITH THE STUDS NESTED IN IT. THE STUDS MUST BE BRACED AT THE TOP WITH BRIDGING OR FLAT STRAPS OR A VERTIBRACK BY "THE STEEL NETWORK" (OR EQUAL). (USE VTD SERIES FOR INTERIOR WALLS AND VTX SERIES FOR EXTERIOR WALLS. R.)
- ALL INTERIOR NON LOAD BEARING WALLS ARE AS SPECIFIED ON ARCHITECTURAL DRAWINGS AND MUST MEET MIN. CODE REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS AND WIDTHS OF METAL STUD WALLS. CONTRACTOR TO DETERMINE REQUIRED GAUGE AND SPACING.
- D.I.T. TO BE A POWER DRIVEN OR POWER ACTUATED STEEL FASTENER APPROPRIATE FOR USE INDICATED IN LENGTH 4 STYLE. "HILTI" X-GN OR X-EGN FASTENERS ARE SPECIFIED FOR THIS PROJECT.

STRUCTURAL STEEL NOTES:

- HSS = HOLLOW STRUCTURAL SECTION
- STRUCTURAL STEEL ANGLES, "H" SECTIONS, "S" SECTIONS, CHANNELS, AND PLATES = ASTM A36
- STRUCTURAL STEEL "H" SECTIONS = ASTM A992, GRADE 50
- STRUCTURAL STEEL "W" SECTIONS = ASTM A992
- ALL "I" SECTIONS USE SAME MATERIAL AS THEIR ROOT SHAPE
- H.S.S. (TUBE STEEL) RECTANGULAR AND ROUND = ASTM A500, GRADE B
- STEEL PIPE = ASTM A53, GRADE B
- DESIGN ALL CONNECTIONS FOR FULL STRENGTH OF MEMBERS, ALL BOLTS TO BE 3/4" DIA. H.S. ASTM A325 (MIN.) UNLESS NOTED OTHERWISE. WELDING ELECTRODES TO BE E70 SERIES.
- ALL WELDS TO BE MADE BY A CERTIFIED WELDER OF AHS FOR TYPE OF WELD WHICH IS REQUIRED.
- SUBMIT SHOP DRAWINGS FOR ALL STEEL ELEMENTS.

CONCRETE NOTES:

- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
WALL, FOOTINGS, GRADE BEAMS, SLAB ON GRADE, 4 SLAB ON PAN 3,000 PSI
BEAMS, COLUMNS, STRUCTURAL SLABS, AND GRIDDERS 4,000 PSI
- CONCRETE REINFORCING STEEL TO BE ASTM A615, GRADE 60 AND WELDED WIRE FABRIC TO BE ASTM A65.
- MINIMUM COVER AROUND REINFORCING BARS FOR CAST-IN-PLACE CONCRETE (NON-PRESTRESSED):
CAST AGAINST EARTH, SUCH AS FOOTINGS 3"
EXPOSED TO WEATHER 4 SLAB ON GRADE 1 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND 3/4"
BEAMS, GRIDDERS, COLUMNS 1 1/2"
#5 OR SMALLER REINFORCING (2" COVER IS REQUIRED FOR LARGER REINFORCING)
- DOWELS AND CONT. REINFORCING SHALL HAVE A MINIMUM LAP OF 3x BAR DIAMETERS OR 2'-0" MINIMUM, U.N.O. PROVIDE HOOKED BARS AT CORNERS OR INTERSECTIONS. (SEE MASONRY NOTES FOR LAP SPICE REQUIREMENTS IN MASONRY.)
- PROVIDE AIR ENTRAINMENTS OF 4 TO 6 PERCENT.
- REINFORCED CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
- PROVIDE CLASS B BARS AND MESH SUPPORTS.

WALL COMPONENT & CLADDING PRESSURES

AREA 1, 3	ZONE 4 3		ZONE 5 3	
	BEYOND 3'-6" OF CORNER	WITHIN 3'-6" OF CORNER	BEYOND 3'-6" OF CORNER	WITHIN 3'-6" OF CORNER
10 sq. ft.	48.42 / -52.44 PSF	48.42 / -64.56 PSF	48.42 / -52.44 PSF	48.42 / -64.56 PSF
20 sq. ft.	46.28 / -50.31 PSF	46.28 / -62.42 PSF	46.28 / -50.31 PSF	46.28 / -62.42 PSF
30 sq. ft.	45.02 / -49.06 PSF	45.02 / -61.17 PSF	45.02 / -49.06 PSF	45.02 / -61.17 PSF
40 sq. ft.	44.13 / -48.17 PSF	44.13 / -60.28 PSF	44.13 / -48.17 PSF	44.13 / -60.28 PSF
50 sq. ft.	43.44 / -47.47 PSF	43.44 / -59.58 PSF	43.44 / -47.47 PSF	43.44 / -59.58 PSF
100 sq. ft.	41.29 / -45.33 PSF	41.29 / -57.44 PSF	41.29 / -45.33 PSF	41.29 / -57.44 PSF

WALL/CLADDING PRESSURE NOTES:

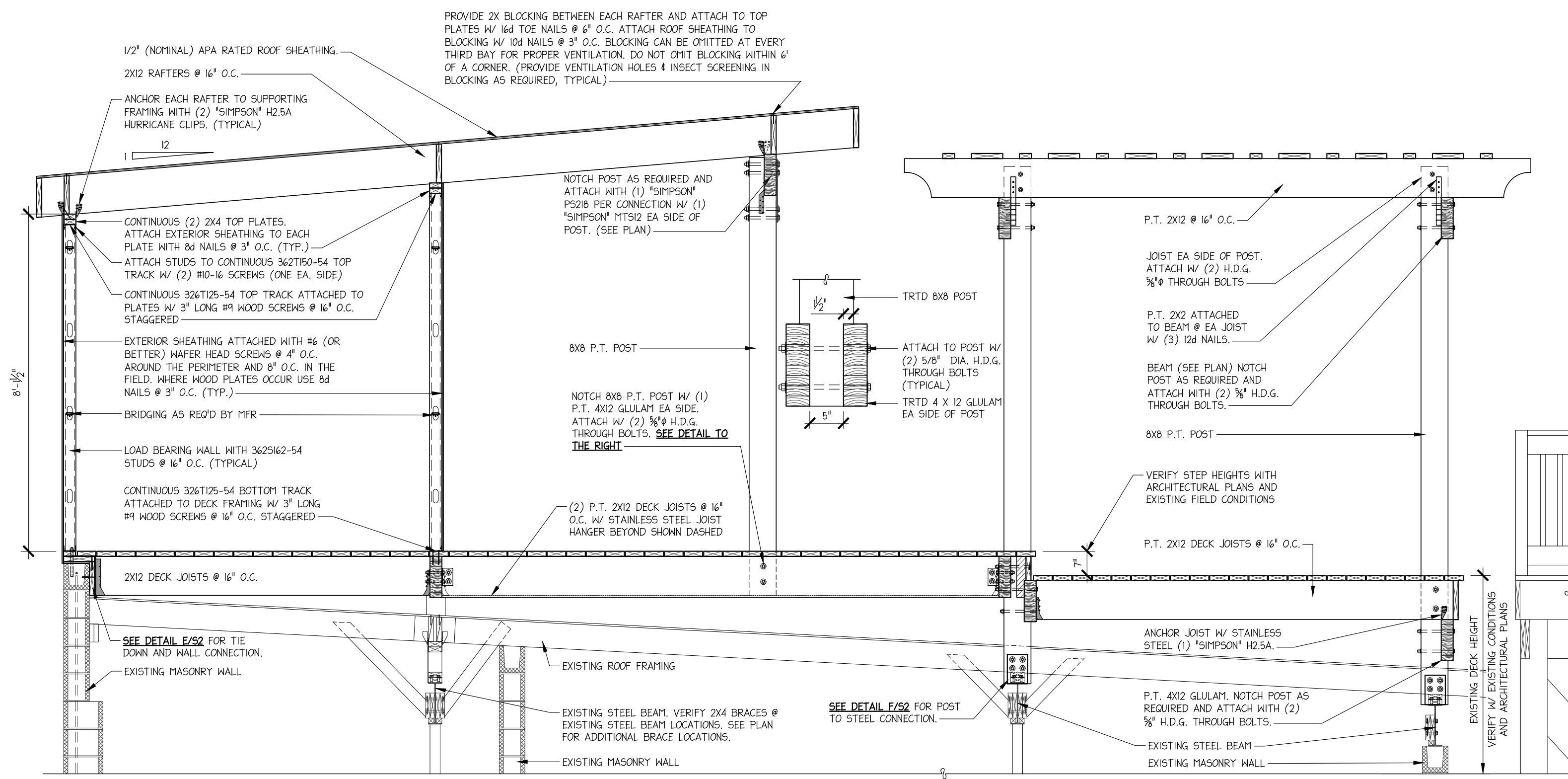
- AREA TO BE DETERMINED BY (SPAN) DIVIDED BY 3 OR ACTUAL TRIBUTARY LENGTH, WHICHEVER IS GREATER.
- WALL PRESSURES SHOULD BE USED TO DETERMINE REQUIRED DESIGN PRESSURES FOR DOORS & WINDOWS AS WELL AS IN THE DESIGN OF FINISH MATERIAL AND ATTACHMENTS.
- INTERPOLATION OF VALUES IS PERMITTED.
- IF ANY PORTION OF A DOOR OR WINDOW IS IN ZONE 5, THE WHOLE UNIT MUST MEET ZONE 5 PRESSURES.
- DESIGN PRESSURES SHOWN IN TABLE ARE STRENGTH DESIGN WIND PRESSURES. ALLOWABLE STRESS DESIGN WIND PRESSURES MAY BE CALCULATED BY MULTIPLYING TABLE PRESSURES BY 0.9.
- DEFLECTIONS MAY BE CALCULATED BASED ON 42% OF THESE LOADS OR (0.7 X ALLOWABLE STRESS DESIGN PRESSURES)

STRUCTURAL TIMBER & HARDWARE NOTES:

- LUMBER SHALL BE AS FOLLOWS: #2 KD SOUTHERN YELLOW PINE (OR BETTER) FOR PLATES, HEADERS, JOISTS, AND RAFTERS. STUDS MAY BE SPRUCE PINE FIR #2 KD (OR BETTER). IF OTHER SPECIES OF WOOD ARE USED, THEN HURRICANE CLIPS AND HANGERS MAY NEED TO BE INCREASED IN SIZE.
- ALL NAIL SIZES AND NUMBER REQUIRED MAY NOT BE SHOWN. SUFFICIENT NAILING SHALL BE REQUIRED TO DEVELOP JOINT STRENGTH.
- ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A653 AS APPLICABLE. ALL JOIST HANGERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE "SIMPSON" Z-MAX GALVANIZED.
- LUMBER LESS THAN 1" ABOVE GROUND AND LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED CCA OR ACQ 0.25 LBS/CF NET RETENTION. LUMBER IN CONTACT WITH GRADE SHALL BE PRESSURE TREATED CCA OR ACQ 0.4 LBS/CF NET RETENTION.
- LAMINATED VENEER LUMBER (LVL) SHALL BE AITC STRUCTURAL GLUED TIMBER, ARCHITECTURAL GRADE SOUTHERN YELLOW PINE "LOUISIANA PACIFIC" GANGLAM 250 FB-2.0F, "BOISE CASCADE" VERSA-LAM 300 FB, OR EQUAL. GLULAMS TO BE VISUALLY GRADED SOUTHERN PINE, 24F-V3 OR EQUAL. ALL GLULAMS TO BE BALANCED, U.N.O.
- USE ASTM A307 BOLTS WITH NUTS AND WASHERS FOR ALL TIMBER CONNECTIONS AND 1/4" NAILS FOR BEAM CONNECTIONS.

ADHESIVE ANCHOR NOTES:

- THE GROUT ADHESIVE MUST BE AS FOLLOWS:
SOLID OR FILLED MASONRY & CONCRETE:
"HILTI" HVA ADHESIVE ANCHOR SYSTEM OR "HILTI" HIT 150 INJECTION ADHESIVE ANCHOR SYSTEM
"SIMPSON" SET-XP HIGH STRENGTH EPOXY EQUIVALENT OR BETTER PRODUCT
- HOLLOW MASONRY:
"HILTI" H202 ADHESIVE ANCHOR SYSTEM WITH HIT SCREEN TUBE AND DISPENSER.
EQUIVALENT OR BETTER PRODUCT
ONLY BOLT TO HOLLOW MASONRY WHEN SPECIFIED ON DRAWINGS.
HOLES MUST BE DRILLED AND CLEANED PER ADHESIVE MANUFACTURER'S RECOMMENDATIONS. HOLES MUST BE BLOWN AND BRUSHED CLEAN. FAILURE TO PROPERLY CLEAN THE HOLES WILL COMPROMISE THE CAPACITY OF THE ANCHOR.
THREADED RODS AND ANCHOR BOLTS MUST BE A36 STEEL OR BETTER. REBAR MUST BE ASTM A615 GRADE 60 STEEL OR BETTER.
- ALLOW PROPER SETTING AND CURING TIMES FOR THE ADHESIVE. THE ADHESIVE MANUFACTURER CAN SUPPLY GUIDELINES OR CONTACT OUR OFFICE.
THE MINIMUM EMBEDMENT DEPTH FOR ADHESIVE GROUTED ANCHORS IN SOLID MATERIAL IS 4", U.N.O.



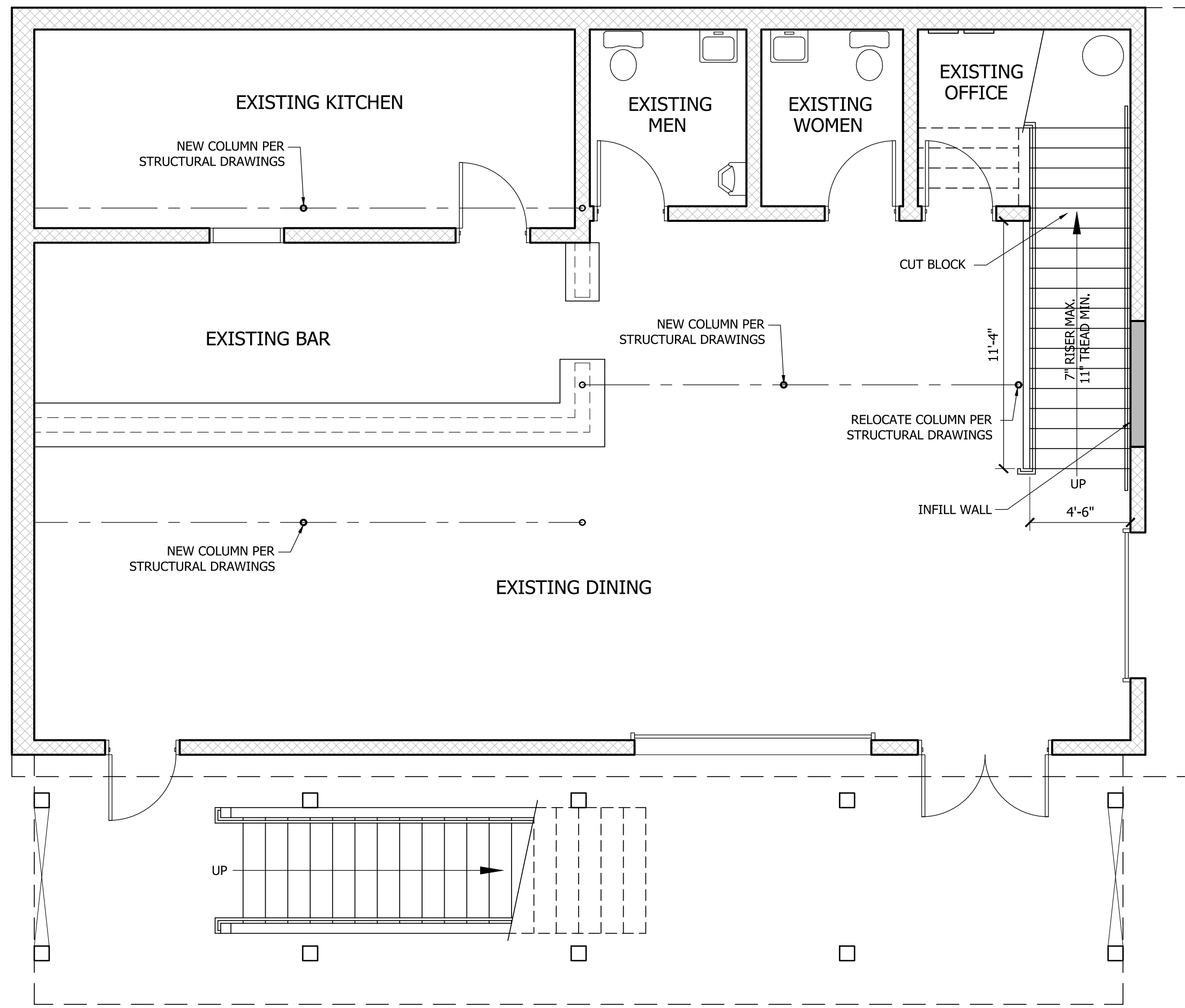
A BUILDING SECTION
SCALE: 1/2" = 1'-0"

Hurricane Alley's
5 Boardwalk
Carolina Beach, NC
PROJECT DESCRIPTION: RENOVATION
DRAWN BY: J.L.T.
DATE: 06-5-2019
PROJECT NO: 18317
REVISION DATE INTL
REVISIONS: [Table with 3 columns: No., Description, Date]
DESIGNED BY: W.D.J.

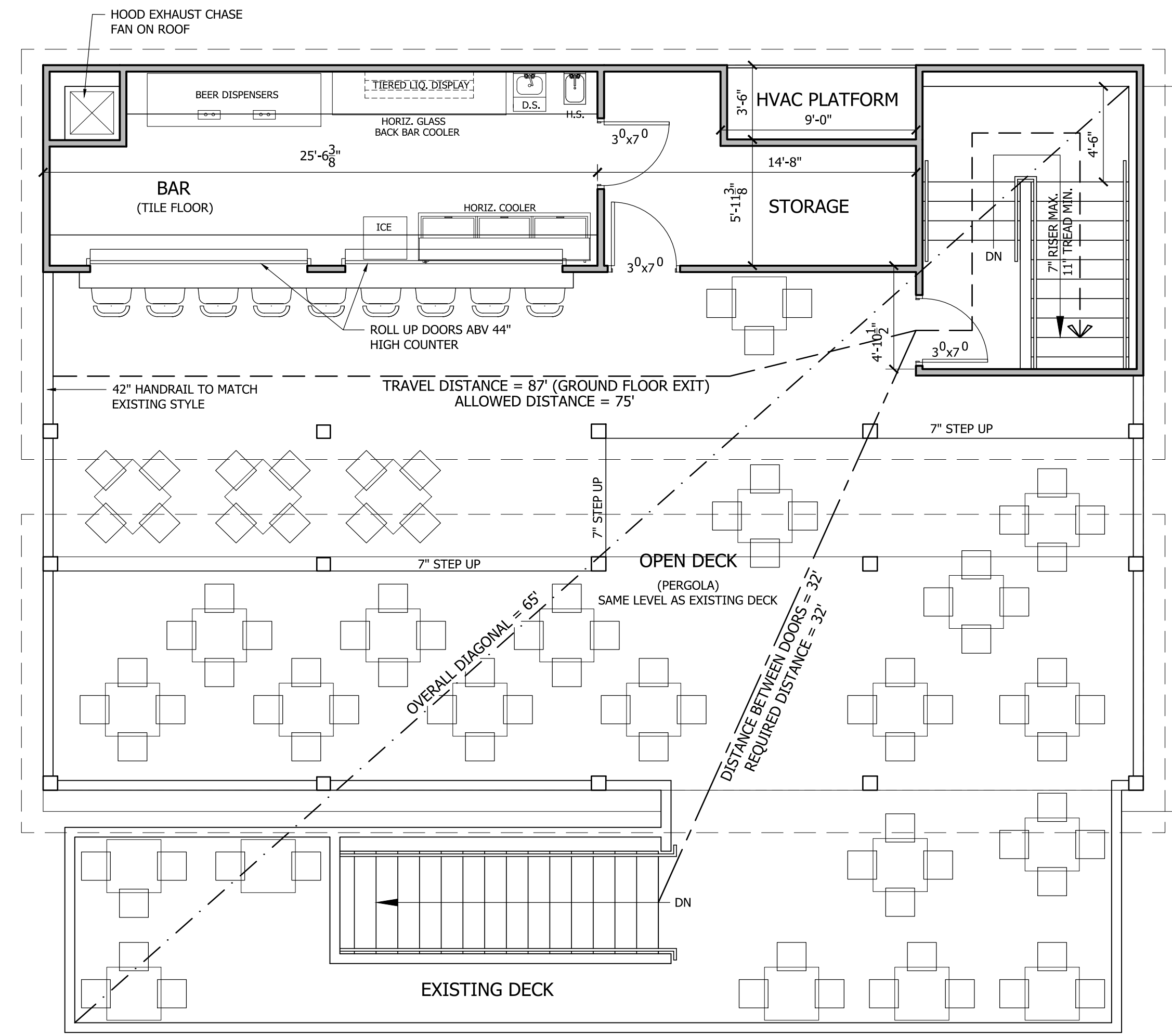
WD JONES ENGINEERING, PLLC
CORPORATE
SEAL P-1181
N.C.
6/5/19

WD JONES ENGINEERING, PLLC
EMAIL: OFFICE@WDJONESENGINEERING.COM
PHONE: 910-523-5381
100 B OLD EASTWOOD ROAD, UNIT 24
WILMINGTON, N.C. 28403

3
3



A **NEW FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

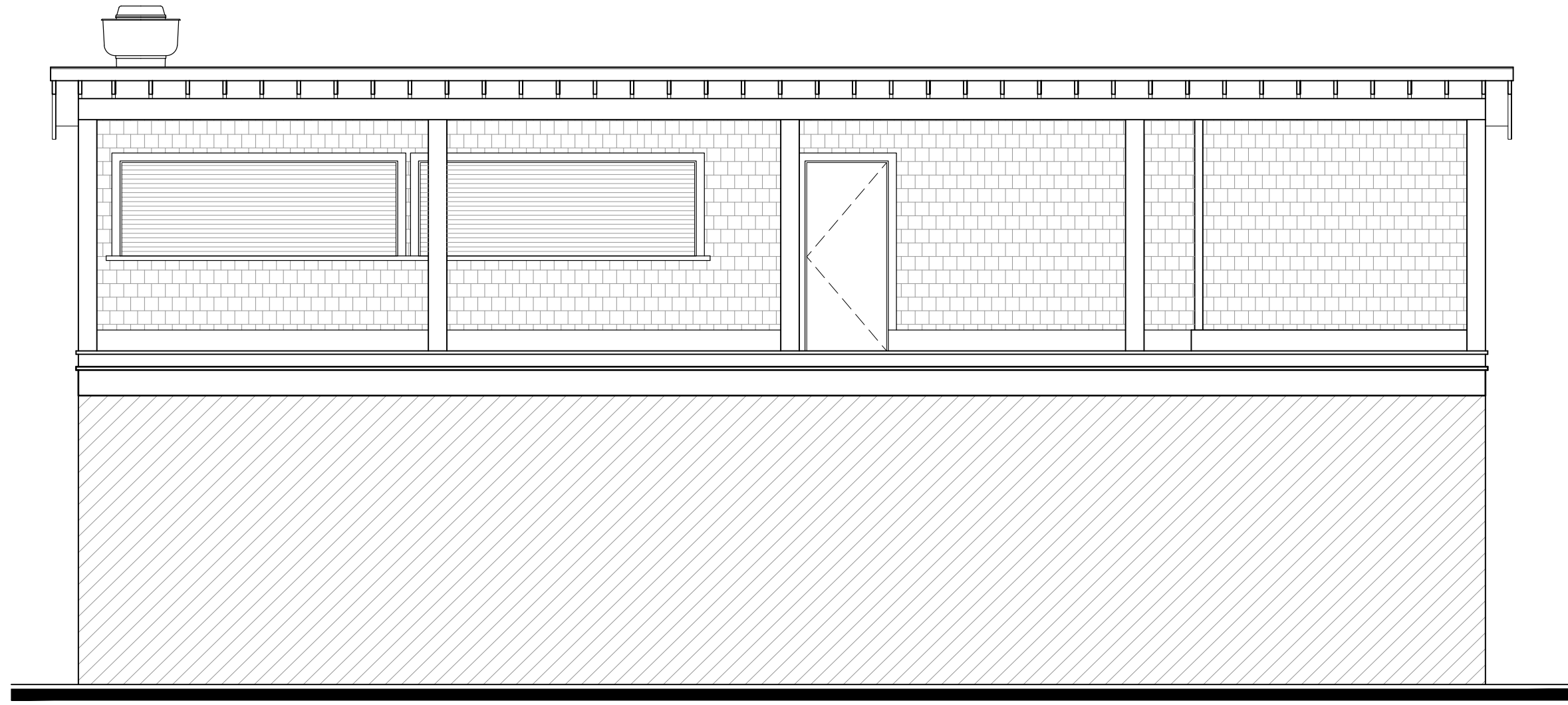


B **NEW SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

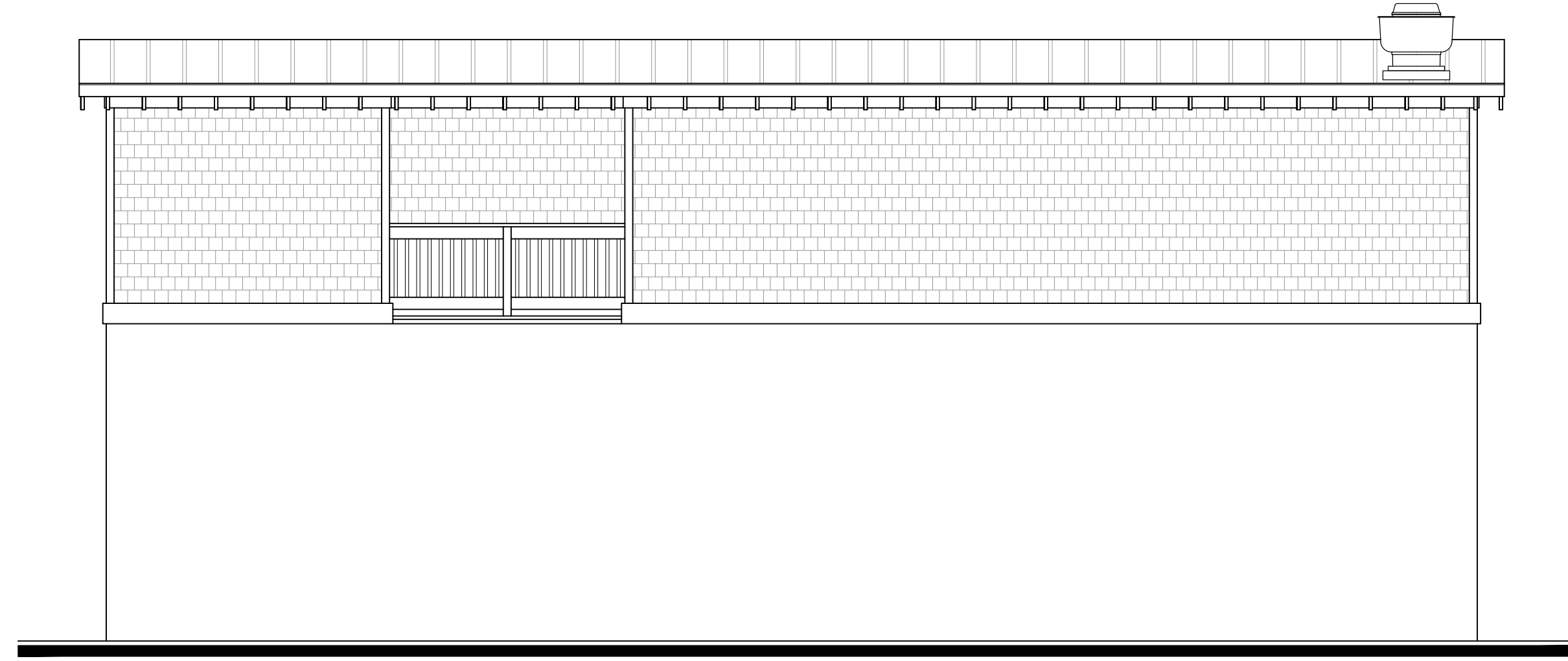
PRELIMINARY
NOT FOR
CONSTRUCTION

DATE:
7 JUNE 2019
REVISIONS:

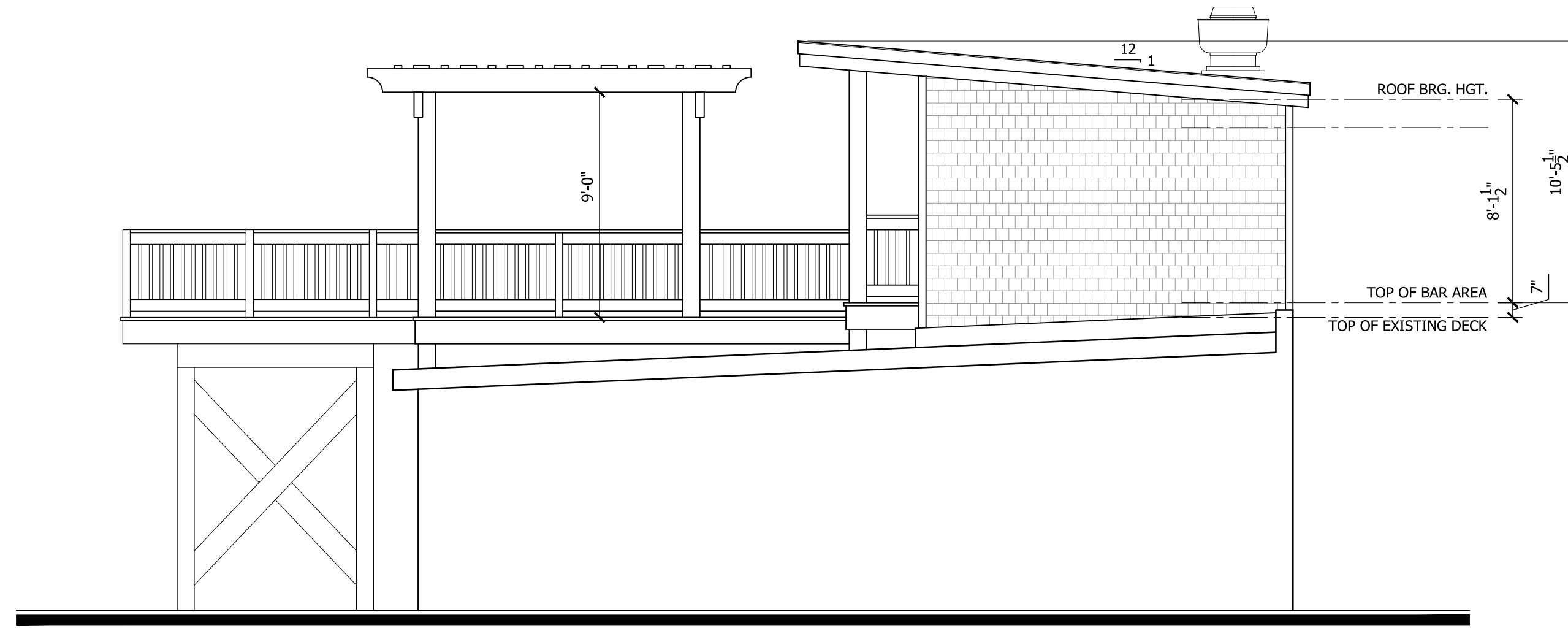
A2.1



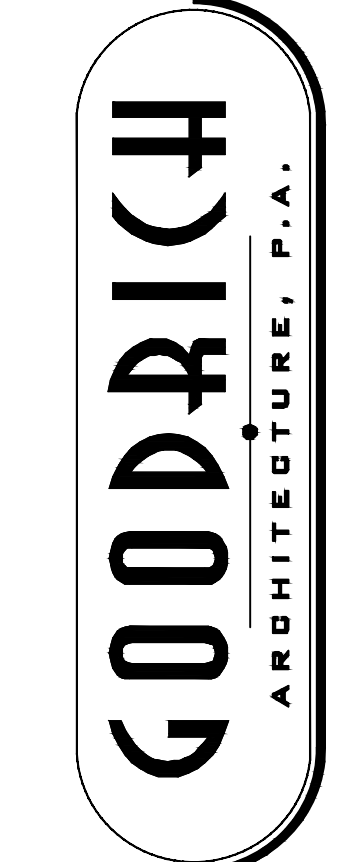
A OCEAN ELEVATION
SCALE: 1/4" = 1'-0"



B REAR ELEVATION
SCALE: 1/4" = 1'-0"



C RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3142 WRIGHTSVILLE AVENUE
WILMINGTON NC 28403
OFFICE: 910.343.1065
FAX: 910.343.1067
EMAIL: GA@GOODRICHARCHITECTURE.COM

HURRICANE ALLEY'S
ALTERATION
5 BOARDWALK
CAROLINA BEACH, NORTH CAROLINA
PROJECT # 19001
ELEVATIONS

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE:
7 JUNE 2019
REVISIONS:

A3.1



Conditional Use Permit TOWN OF CAROLINA BEACH, N.C.

Permit Number: 19-C04

Each application must be printed or typewritten and have all information answered. **It is required that the applicant set up a meeting with Planning Staff prior to the submission deadline to ensure the application is complete.** The Town of Carolina Beach requires a licensed attorney to appear in a representative capacity to advocate the legal position of another firm, or corporate entity that is the applicant/owner of record.

The Planning Department, Planning and Zoning Commission and/or Town Council reserves the right to require additional information if needed to assure that the use in its proposed location will meet the be developed in accordance with the Code of Ordinances of the Town of Carolina Beach.

Major and minor projects; application fees. The owner or owners, or their duly authorized agent, of the property included in the application for a conditional use permit shall submit a complete application and supplemental information to the Zoning Administrator. A fee in accordance with the Town's adopted schedule of fees, payable to the Town of Carolina Beach, must accompany each application. For the purposes of determining the fee, the Zoning Administrator shall categorize each such Conditional Use Permit Application as either "major" or "minor", depending upon the complexity of review. Generally, Planned Residential (over 3 units), Mixed Uses, Business Developments, and similarly complex projects shall be categorized as "major", while projects such as bed and breakfast inns, small day care services, etc. shall be categorized as "minor".

Major Conditional Use Permit = \$ 800.00
Minor Conditional Use Permit = \$ 350.00

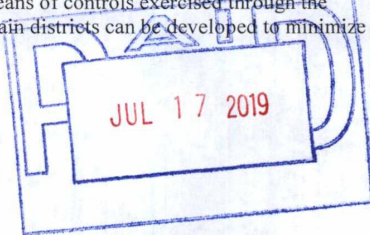
Fees are nonrefundable after item has been sent for advertisement

This permit will be scheduled for the next possible Technical Review Committee.

2019 Submission Deadlines & Meeting Dates					
Technical Review Committee		Planning & Zoning Commission		Town Council	
Submission	Meeting	Submission	Meeting	Submission	Meeting
Jan 7	Jan 22	Dec 27	Jan 10	Dec 27	Jan 8
Feb 4	Feb 18	Jan 31	Feb 14	Jan 30	Feb 12
Mar 4	Mar 18	Feb 28	Mar 14	Feb 27	Mar 12
Apr 1	Apr 15	Mar 28	Apr 11	Mar 27	Apr 9
May 6	May 20	Apr 25	May 9	May 1	May 14
June 3	June 17	May 30	June 13	May 29	June 11
1-1 July 1	July 15	June 27	July 11	June 26	July 9
2-1 Aug 5	Aug 19	1-1 July 25	Aug 8	1-3 July 31	Aug 13
Sept 2	Sept 16	1-1 Aug 29	Sept 12	1-3 Aug 28	Sept 10
Oct 7	Oct 21	Sept 26	Oct 10	2-3 Sept 25	Oct 8
Nov 4	Nov 18	Oct 31	Nov 14	Oct 30	Nov 12
Dec 2	Dec 16	Nov 28	Dec 12	Nov 20	Dec 10
Jan 6	Jan 20	Dec 19	Jan 9	Dec 31	Jan 14
Board	# Copies Full Size	# Copies Electronic	Recipients		
TRC	9	1	1 Manager, 3 Planning, 1 Fire, 1 Police, 2 Operations, 1 Admin		
P&Z	9	1	7 P&Z, 1 Manager, 2 Planning, 1 Secretary, 1 Island Gazette		
Town Council	9	1	5 Town Council, 1 Manager, 1 Planning, 1 Clerk, 1 Island Gazette		

PURPOSE

Conditional use permits add flexibility to the zoning regulations. Subject to high standards of planning and design, certain property uses may be allowed in certain districts where these uses would not otherwise be acceptable. By means of controls exercised through the conditional use permit procedures, property uses which would otherwise be undesirable in certain districts can be developed to minimize any adverse effects they might have on surrounding properties.



July 15 2pm

Please complete all sections of the application.

A. Property Information

Address(es): 5 BOARDWALK

PIN(s): _____

Project Name Hurricane Alleys Renovation

Size of lot(s): _____

B. Application for Conditional Use Permit

Application is hereby made for a Conditional Use Permit for use of the property described above as a (please provide a brief description of the use):

To expand the building so it can take
advantage of the best views in this town.

C. Applicant Contact Information

Hurricane Alleys
Company/corporate Name (if applicable):

DAVID COLE
Applicant's Name

205 Greenville Ave
Mailing Address

CB NC 28428
City, State, and Zip Code

(910) 471-1040
Telephone

CoastClean Llc @ yahoo.com
Email

D. Owner Contact Information (if different)

David Cole
Owner's Name

Mailing Address

City, State, and Zip Code

Telephone

Email

General conditions. Council, when granting a conditional use permit, shall find that all four of the following factors found in Chapter 40 Article XI exist. In the spaces provided below, indicate the facts and arguments that prove you meet the following conditions:

1. Indicate how the proposed CUP will not adversely affect health or safety if located where proposed and developed according to the plan submitted:

I plan on Meeting All Local, State, And Fed. Regulations. I am only extending the length of the deck.

2. Indicate if the proposed Conditional Use Permit meets all required conditions and specifications or if any waivers are requested:

Yes, it Meets All required Conditions

3. Indicate how the proposed Conditional Use Permit will not substantially injure the value of adjoining or abutting property, or that the use is a public necessity:

My Addition should increase Values of Adjoining Property.

4. Indicate that the location and use of the proposed Conditional Use Permit, if developed according to the plan as submitted, will be in harmony with the area in which it is to be located and in general conformity with the Town of Carolina Beach's Land Use Plan and policies.:

It will give visitors the opportunity to enjoy the views of the Atlantic Ocean. It gives opportunity for more locals and visitors to view the fireworks.

Specific standards. No conditional use shall be granted by Town Council unless the following provisions and arrangements where applicable, have been made to the satisfaction of the council.

1. Indicate how the Ingress and egress to the property and proposed structures in reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe:

LOCATED ON SIDEWALK
NO PARKING

2. Indicate how the off-street parking and loading areas met, and how the economic, noise, glare, or odor of the propose use will affect the adjoining properties.

NO PARKING

3. Indicate how the refuse and service area, will be handled.

ALL TRASH ARE DISCARDED IN TOWNS DUMPSTERS
ALL GLASS ARE PLACED IN RECYCLE BINS

4. Indicate how adequate and proper utilities, with reference to locations, availability, and compatibility are to be provided or how the item listed are not applicable to the proposed CUP.

NONE

5. Indicate how screening and buffering with reference to type, dimensions, and character will be provided or why it is not provided for;

NA

6. Indicate how signs, if any, and the proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;

NO GLARE FROM LIGHTING

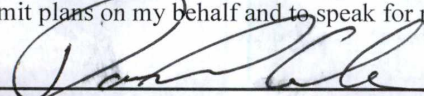
7. Indicate the required yards and other open space and preservation of existing trees and other attractive natural features of the land.

NA

SUPPLEMENTAL INFORMATION REQUIRED WITH THE APPLICATION

1. Detailed project narrative describing the proposed site and request.
2. Agent form if the applicant is not the property owner
3. Request for site specific development plan shall be submitted in accordance with Chapter 40 Article

OWNER'S SIGNATURE: In filing this application for a conditional use permit I/we as the property owner(s), hereby certify that all of the information presented in this application is accurate to the best of my knowledge, information and belief. I hereby designate Ned M. Barner To act on my behalf regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to speak for me in any public meeting regarding this application.


Signature

6/11/19
Date

Check the box beside each item verifying that the item has been submitted with this application

I. Site Plan Criteria

For new construction all boxes in this section shall be marked yes by the applicant to be considered a complete application.

- | <u>Yes</u> | <u>No</u> | <u>N/A</u> | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The name, address, and phone number of the professional(s) responsible for preparing the plan if different than the applicant. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Engineers scale 1 inch = 40 ft or larger |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Title block or brief description of project including all proposed uses |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Date |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | North arrow |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Property and zoning boundaries |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | The square footage of the site |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Lot coverage (buildings, decks, steps) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and proposed structures and the setbacks from property lines of all affected structures to remain on-site |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Design of driveways and parking |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent right-of-ways labeled with the street name and right of way width |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of all existing and/or proposed easements |

Additional information or data as determined necessary by town staff and/or other reviewing agencies including but not limited to the following may be required:

- | <u>Yes</u> | <u>No</u> | <u>N/A</u> | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location and design of refuse facilities |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Approximate locations and sizes of all existing and proposed utilities |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Existing and/or proposed fire hydrants (showing distances) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Adjacent properties with owners' information and approximate location of structures |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Distances between all buildings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Number of stories and height of all structures |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Locations of all entrances and exits to all structures |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Calculate the gross floor area with each room labeled (i.e. kitchen, bedroom, bathroom) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be use |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of flood zones and finished floor elevations |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | CAMA Areas of Environmental Concern (AEC) and CAMA setbacks |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Delineation of natural features and wetlands with existing and proposed topography with a maximum of two foot contour intervals |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Proposed landscaping including percentages of open space |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Stormwater management systems |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Cross-sectional details of all streets, roads, ditches, and parking lot improvements |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Building construction and occupancy type(s) per the building code |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Location of fire department connection(s) for standpipes |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Turning radii, turnarounds, access grades, height of overhead obstructions |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Dimensions and locations of all signs |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A vicinity map drawn with north indicated |

- I have provided a scaled electronic version of each required drawing
- I have folded all plans to 8 1/2" x 11" size and am prepared to pay the application fee today

GROSS ROOF COMPONENT UPLIFT PRESSURES (ROOF PITCH)¹

AREA ^{2, 4}	ZONE 1 ⁴	ZONE 2 ⁴	ZONE 3 ⁴
10 sq. ft.	21.52 / -84.29 PSF	21.52 / -84.29 PSF	21.52 / -133.60 PSF
20 sq. ft.	20.17 / -82.94 PSF	20.17 / -82.94 PSF	20.17 / -106.61 PSF
50 sq. ft.	18.34 / -81.15 PSF	18.34 / -81.15 PSF	18.34 / -70.93 PSF
100 sq. ft.	17.04 / -79.80 PSF	17.04 / -79.80 PSF	17.04 / -43.94 PSF

ROOF PRESSURE NOTES:

- ROOF PRESSURES MAY BE USED IN DESIGN OF CONNECTIONS, DECKING, BAR JOISTS, AND FINISH MATERIAL.
- AREA TO BE DETERMINED BY (SPAN)² DIVIDED BY 3 OR ACTUAL TRIBUTARY AREA, WHICHEVER IS GREATER.
- ROOF PRESSURES SHOULD BE USED TO DETERMINE REQUIRED DESIGN PRESSURES FOR STUDS & SKYLIGHTS AS WELL AS IN THE DESIGN OF FINISH MATERIAL AND ATTACHMENTS.
- INTERPOLATION OF VALUES IS PERMITTED.
- FOR OVERHANG ADD APPROPRIATE WALL PRESSURE TO THE UNDERSIDE OF THE OVERHANG.
- DESIGN PRESSURES SHOWN IN TABLE ARE STRENGTH DESIGN WIND PRESSURES. ALLOWABLE STRESS DESIGN WIND PRESSURES MAY BE CALCULATED BY MULTIPLYING TABLE PRESSURES BY 0.6.
- DEFLECTIONS MAY BE CALCULATED BASED ON 42% OF THESE LOADS OR (0.7 X ALLOWABLE STRESS DESIGN PRESSURES)

GENERAL NOTE:

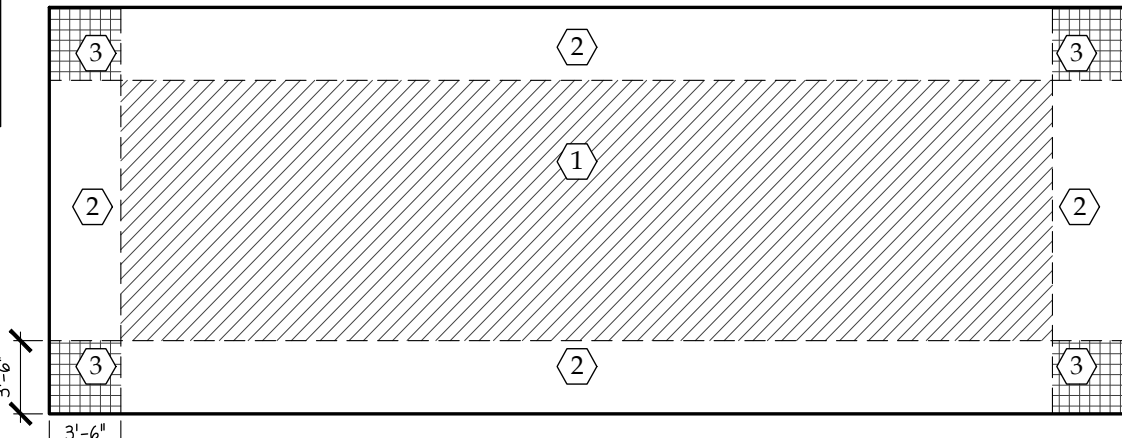
ENGINEER RESPONSIBLE FOR ALL STRUCTURAL COMPONENTS ON THIS DRAWING. ALL DIMENSIONS AND DETAILS MAY NOT BE SHOWN AND ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS TO VERIFY WITH ENGINEER ANY ADDITIONAL DETAILS REQUIRED FOR CONSTRUCTION. PLEASE CONTACT OUR OFFICE IF ANY DISCREPANCIES ARE FOUND.

ZONE ROOF SHEATHING NAILING PATTERN W/ RAFTERS

- | ZONE | ROOF SHEATHING NAILING PATTERN W/ RAFTERS |
|------|---|
| 1 | ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE ROOF FRAMING (NO BLOCKING REQUIRED) - SEE NOTE 2 |
| 2 | ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 4" O.C. ALONG PANEL EDGES AND 8" O.C. AT INTERMEDIATE ROOF FRAMING (PROVIDE BLOCKING AT PANEL EDGES WITHIN 4'-0" OF GABLE END WALLS & ATTACH ROOF SHEATHING TO BLOCKING W/ 8d NAILS AT 3" O.C.) |
| 3 | ATTACH ROOF SHEATHING PANELS TO ROOF FRAMING W/ 8d NAILS AT 4" O.C. ALONG PANEL EDGES AND 4" O.C. AT INTERMEDIATE ROOF FRAMING (PROVIDE BLOCKING AT PANEL EDGES WITHIN 4'-0" OF GABLE END WALLS & ATTACH ROOF SHEATHING TO BLOCKING W/ 8d NAILS AT 4" O.C.) |

ROOF DIAPHRAGM NOTES:

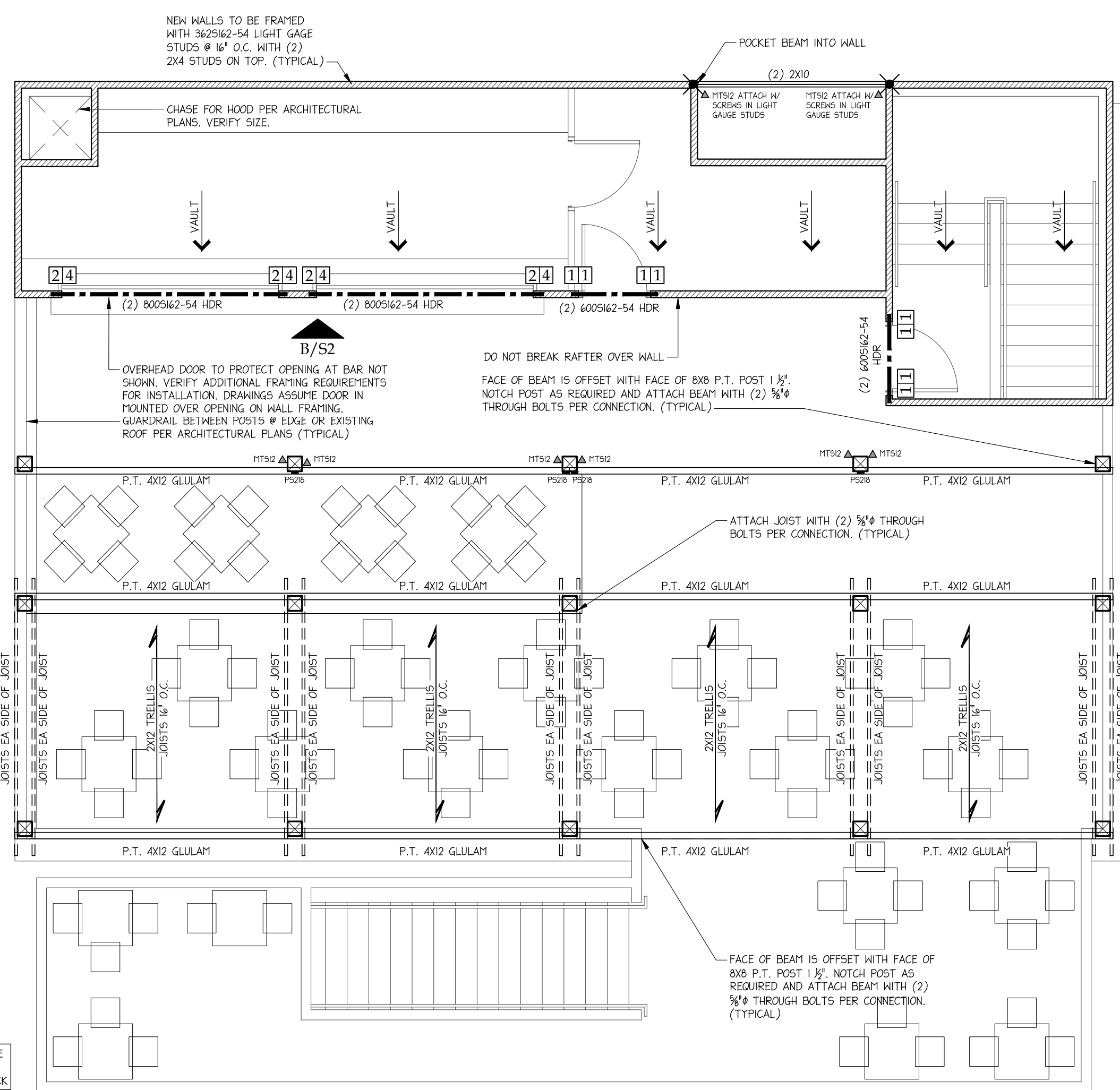
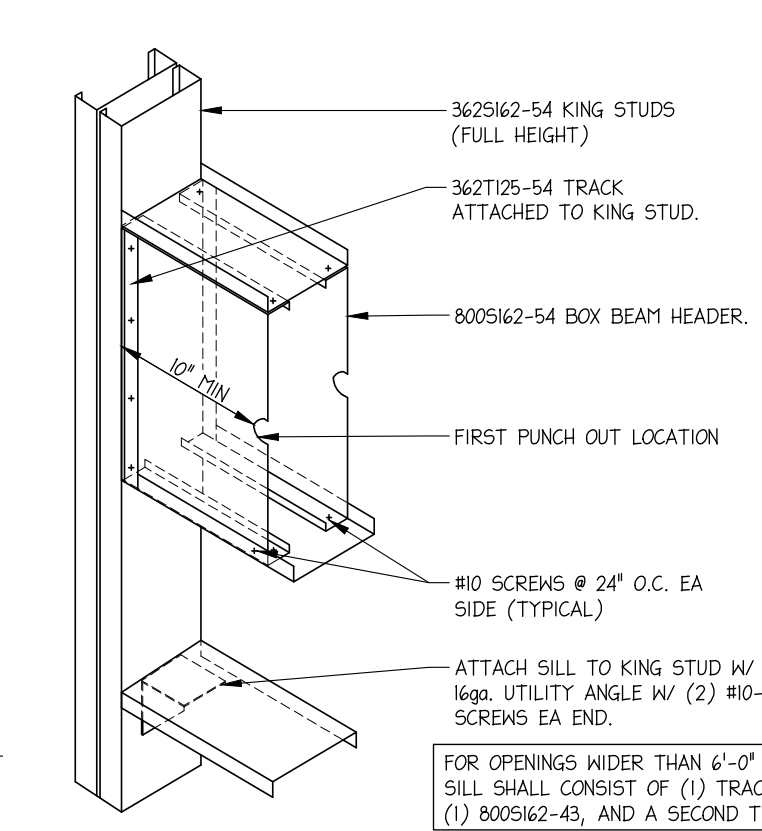
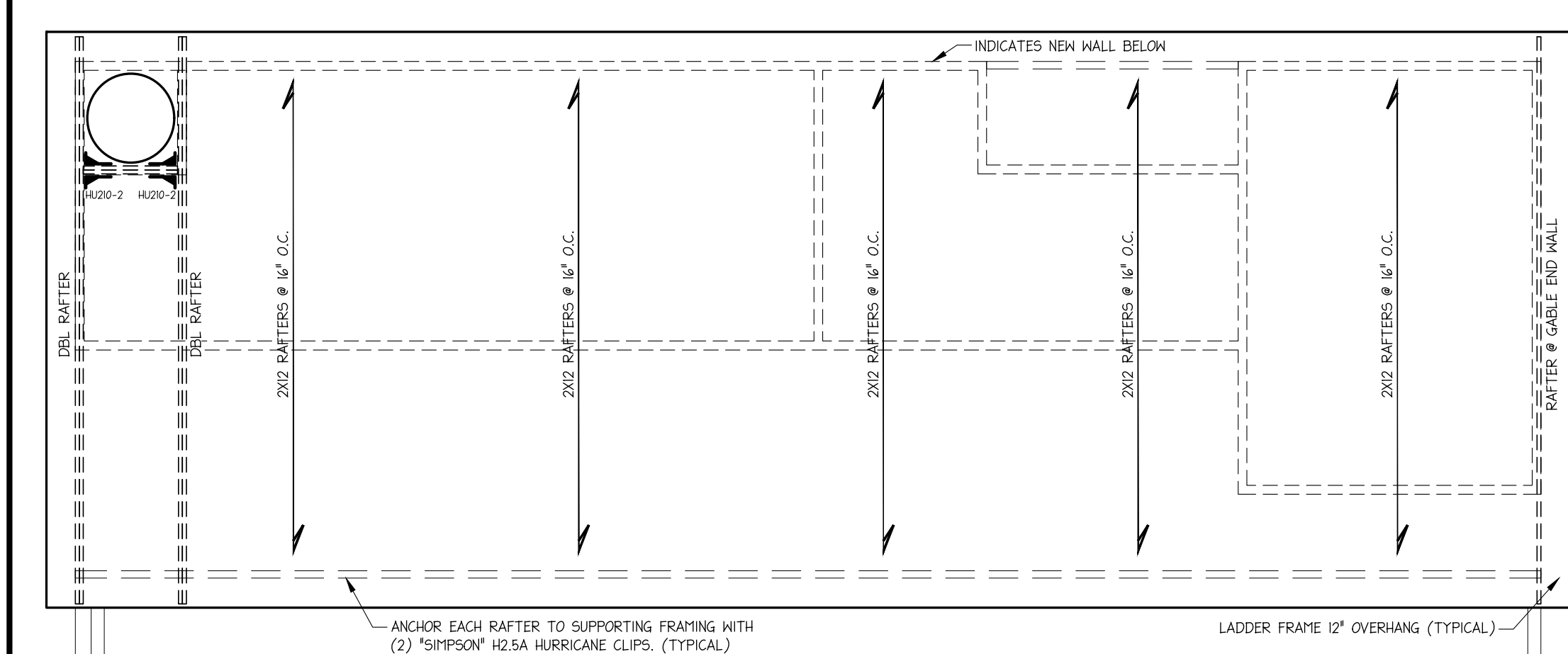
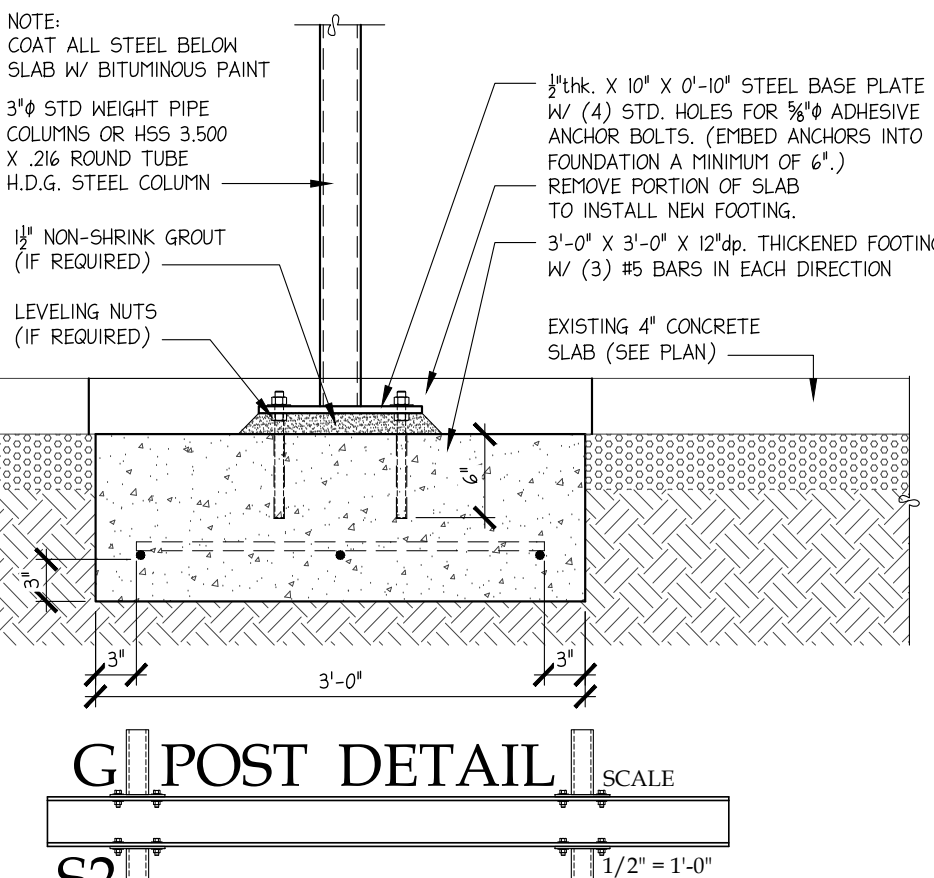
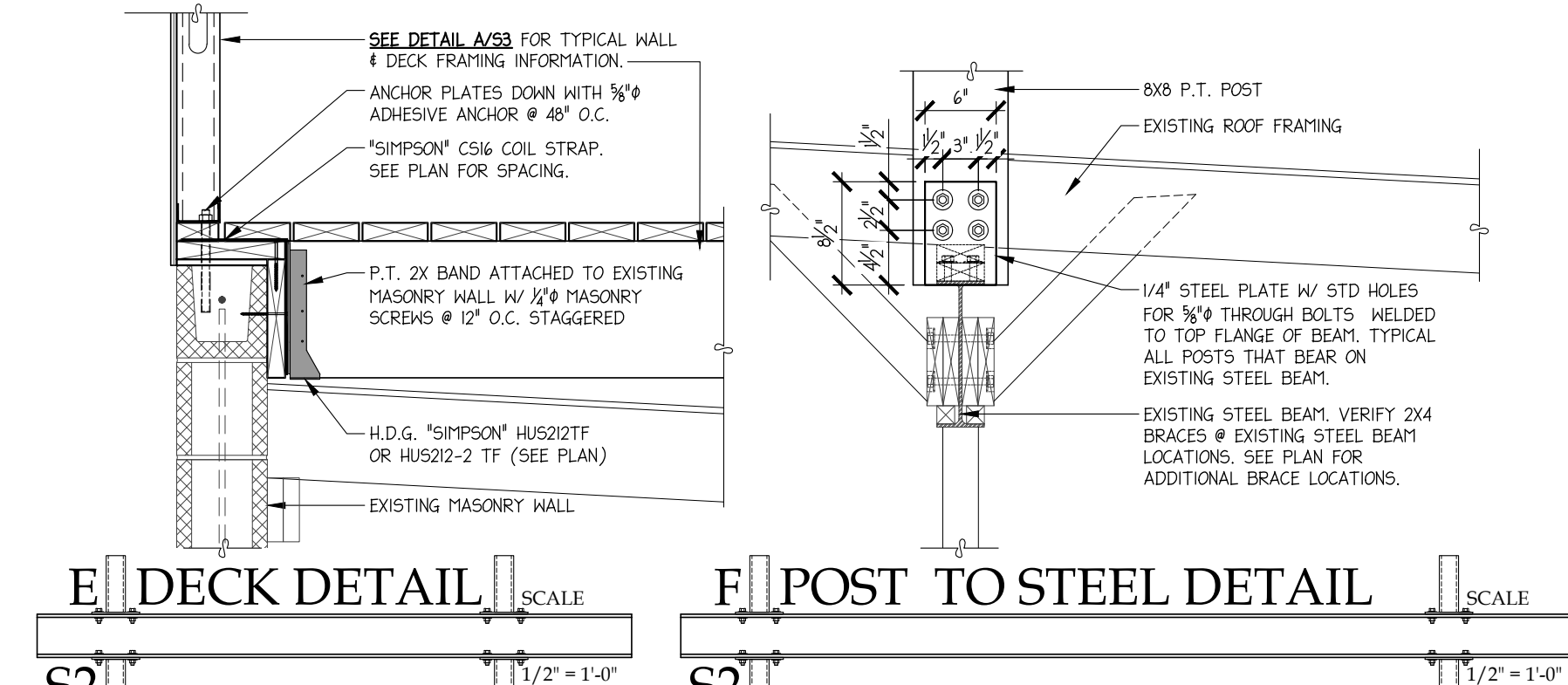
- FOR ALL ROOF SHEATHING CONNECTIONS, WHERE NAILS ARE SPECIFIED, USE DEFORMED OR SCREW SHANK NAILS.
- 12" O.C. SPACING MAY NOT BE ADEQUATE FOR SOME PANELS, DECREASE SPACING AS REQUIRED TO SECURE HARDED PANELS OR ENSURE ALIGNMENT.
- PLYWOOD SHEATHING TO BE PRESSURE TREATED IF EXPOSED TO WEATHER.
- ALL PANELS ADJACENT TO WALLS & RIDGES MUST BE AT LEAST 24" WIDE.
- ALL PANELS @ EDGES OF ROOF OVERHANGS, VALLEYS, AND HIPS MUST BE AT LEAST 2'-8" LONG (ON AVERAGE) WHENEVER POSSIBLE.
- WHEN RIDGE VENTS ARE USED, PROVIDE BLOCKING AS REQUIRED AT PANEL EDGES UNDER VENT.



JACK & KING STUD LEGEND

STANDARD HEADER OPENING
 NUMBER INSIDE BOX INDICATES # OF JACK STUDS REQ'D. NUMBER INSIDE BOX INDICATES # OF KING STUDS REQ'D.

ROOF DIAPHRAM PLAN SCALE



Hurricane Alley's
 5 Boardwalk
 Carolina Beach, NC
 PROJECT DESCRIPTION: RENOVATION
 DRAWN BY: J.L.T. DATE: 06-5-2019
 PROJECT NO: 18317
 REVISION DATE INTL

SEAL
 025852
 J.L. JONES
 PROFESSIONAL ENGINEER
 6/5/19
 SEAL
 P-1181
 N.C.

WD JONES ENGINEERING, PLLC
 EMAIL: OFFICE@WDJONESENGINEERING.COM
 PHONE: 910-523-5381
 100 B OLD EASTWOOD ROAD, UNIT 24
 WILMINGTON, N.C. 28403
 SHEET S2 3

STRUCTURAL INFORMATION FOR APPENDIX B
STRUCTURAL DESIGN

DESIGN LOADS:

IMPORTANT FACTORS: SNOW (lb) 1.0
SEISMIC (lb) 1.0

LIVE LOADS: ROOF 20 PSF
FLOOR 100 PSF

GROUND SNOW LOAD: 10 psf
WIND LOAD: BASIC WIND SPEED 150 mph (ASCE 7-16)
EXPOSURE CATEGORY C

SEISMIC DESIGN CATEGORY: A B C D
Provide the following Seismic Design Parameter:
RISK CATEGORY (TABLE 1604.5) I II III IV
SPECTRAL RESPONSE ACCELERATION: $S_s = 2.33$ $S_1 = 0.93$ $S_2 = 0.8$
SITE CLASSIFICATION (ASCE 7-16) A B C D E F
Data Source: Field Test Presumptive Historical Data
BASIC STRUCTURAL SYSTEM (ASCE 7-16)
 Bearing Wall Dual w/ Special Moment Frame
 Building Frame Dual w/ Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
ANALYSIS PROCEDURE: Simplified Equivalent Lateral Force Dynamic
LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITY:
Field Test (Provide copy of test report) N/A psf
Presumptive Bearing Capacity 2,000 psf
Pile size, type, & capacity N/A psf

DESIGN CRITERIA NOT INCLUDED IN APPENDIX B:

WIND: Internal Pressure Coefficient: +/- 0.18
Components and Cladding Pressures: As listed on plans.
Risk Category - II
V₅₀ = 116 mph

SEISMIC: S_w = 2.33 S₁ = 0.93 S₂ = 0.8
Response Modification Factor, R = 2
Seismic Response Coefficient C_s = 0.119
Seismic Base Shears V_x = 24 Kips V_y = 24 Kips

FLOOD: Zone AE 10
Flood Design Class: II

GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE.
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION WHEN APPLICABLE.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND OTHER DOCUMENTS.
- STRUCTURAL FRAME TO BE BRACED UNTIL ERECTION IS COMPLETE.
- ORIGINAL STRUCTURAL PLANS USED TO DETERMINE EXISTING CONDITIONS AND DESIGN LIVE LOADS.

FOUNDATION NOTES:

- FOOTING AND SLAB DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. (FIELD VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION.)
- REMOVE ALL TOPSOIL, ORGANIC, AND SOFT CLAY IN AREAS WHERE FLOOR SLABS AND FOOTINGS ARE TO OCCUR AND ALSO 5'-0" BEYOND EACH SIDE OF BUILDING FOOTPRINT. PROOF ROLL EXPOSED SUB GRADE WITH A 3 TON VIBRATOR ROLLER MAKING 3 PASSES IN EACH DIRECTION. BACK FILL WITH CLEAN SELECTED FILL COMPACTED IN 8" LAYERS TO 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT (ASTM D-1586).
- WHEN BOTTOM OF FOOTING IS AT OR BELOW WATER TABLE, PROPERLY Dewater EXCAVATION PRIOR TO POURING CONCRETE.
- FOOTINGS SHALL BEAR ON NATURAL, UNDISTURBED EARTH, OR ENGINEERED FILL BELOW FROST DEPTH. IN AREAS NOT SUBJECT TO FREEZING, FOOTINGS SHALL BE AT LEAST 1'-0" BELOW FINISHED GRADE.

LIGHT GAUGE STEEL FRAMING NOTES:

- ALL LIGHT GAUGE STEEL COMPONENTS ARE BASED ON "TELLING" (TELLING INDUSTRIES) SPECIFICATIONS. (WEBSITE: BUILDSTRONG.COM)
- ALL LIGHT GAUGE STEEL FRAMING SHALL BE COLD FORMED STEEL STRUCTURAL MEMBERS DESIGNED BY LATEST SPECIFICATIONS OF A.I.S.I.
- GALVANIZED STEEL STUDS, 12, 14, AND 16 GAGE, SHALL CONFORM TO A 653, 50, GRADE 50 CLASS 1, WITH FT = 50 KSI GALVANIZED STEEL STUDS, 18 AND 20 GAGE, SHALL CONFORM TO A 653, 50, GRADE 33, WITH FT = 33 KSI.
- ALL HELDS TO BE MADE BY A CERTIFIED WELDER OF AHS FOR TYPE OF WELD REQUIRED. WELDING ELECTRODES - E70 SERIES.
- BRIDGING IN LOAD BEARING WALLS SHALL BE AT 5'-0" O.C. WITH (2) ROWS BRIDGING MAX. NOTE: THIS PROJECT DOES NOT INVOLVE LOAD BEARING WALLS.
- SCREENS: SCREEN PENETRATION THROUGH JOINED MATERIALS MUST BE A MINIMUM OF THREE EXPOSED SCREEN THREADS. SPACING AND EDGE DISTANCE SHALL BE 1/2" OR MORE (OR AS SPECIFIED BY SCREEN MANUFACTURER.)
- ITEMS LISTED AS DEFLECTION TRACKS ARE TO BE DEEP LEG TRACKS WITH THE STUDS NESTED IN IT. THE STUDS MUST BE BRACED AT THE TOP WITH BRIDGING OR FLAT STRAPS OR A VERTIBRACK BY "THE STEEL NETWORK" (OR EQUAL) MAY BE USED. (USE VTD SERIES FOR INTERIOR WALLS AND VTX SERIES FOR EXTERIOR WALLS. R.)
- ALL INTERIOR NON LOAD BEARING WALLS ARE AS SPECIFIED ON ARCHITECTURAL DRAWINGS AND MUST MEET MIN. CODE REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS AND WIDTHS OF METAL STUD WALLS. CONTRACTOR TO DETERMINE REQUIRED GUAGE AND SPACING.
- D.I.F. TO BE A POWER DRIVEN OR POWER ACTUATED STEEL FASTENER APPROPRIATE FOR USE INDICATED IN LENGTH & STYLE. "HILTI" X-GN OR X-GEN FASTENERS ARE SPECIFIED FOR THIS PROJECT.

STRUCTURAL STEEL NOTES:

- HSS = HOLLOW STRUCTURAL SECTION
- STRUCTURAL STEEL ANGLES, "M" SECTIONS, "S" SECTIONS, CHANNELS, AND PLATES = ASTM A36
- STRUCTURAL STEEL "H" SECTIONS = ASTM A992, GRADE 50
- STRUCTURAL STEEL "W" SECTIONS = ASTM A992
* ALL "I" SECTIONS USE SAME MATERIAL AS THEIR ROOT SHAPE
H.S.S. (TUBE STEEL) RECTANGULAR AND ROUND = ASTM A500, GRADE B
STEEL PIPE = ASTM A53, GRADE B
- DESIGN ALL CONNECTIONS FOR FULL STRENGTH OF MEMBERS, ALL BOLTS TO BE 3/4" DIA. H.S. ASTM A325 (MIN.) UNLESS NOTED OTHERWISE. WELDING ELECTRODES TO BE E70 SERIES.
- ALL WELDS TO BE MADE BY A CERTIFIED WELDER OF AHS FOR TYPE OF WELD WHICH IS REQUIRED.
- SUBMIT SHOP DRAWINGS FOR ALL STEEL ELEMENTS.

CONCRETE NOTES:

- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
WALL, FOOTINGS, GRADE BEAMS, SLAB ON GRADE, 4 SLAB ON PAN 3,000 PSI
BEAMS, COLUMNS, STRUCTURAL SLABS, AND GRIDDERS 4,000 PSI
- CONCRETE REINFORCING STEEL TO BE ASTM A615, GRADE 60 AND WELDED WIRE FABRIC TO BE ASTM A65.
- MINIMUM COVER AROUND REINFORCING BARS FOR CAST-IN-PLACE CONCRETE (NON-PRESTRESSED):
CAST AGAINST EARTH, SUCH AS FOOTINGS 3"
EXPOSED TO WEATHER 4 SLAB ON GRADE 1 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND 3/4"
BEAMS, GRIDDERS, COLUMNS 1 1/2"
* 85 OR SMALLER REINFORCING (2" COVER IS REQUIRED FOR LARGER REINFORCING)
- DOWELS AND CONT. REINFORCING SHALL HAVE A MINIMUM LAP OF 3x BAR DIAMETERS OR 2'-1" MINIMUM, U.N.O. PROVIDE HOOKED BARS AT CORNERS OR INTERSECTIONS. (SEE MASONRY NOTES FOR LAP SPICE REQUIREMENTS IN MASONRY.)
- PROVIDE AIR ENTRAINMENTS OF 4 TO 6 PERCENT.
- REINFORCED CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318).
- PROVIDE CLASS B BARS AND MESH SUPPORTS.

WALL COMPONENT & CLADDING PRESSURES

AREA 1, 3	ZONE 4 ³		ZONE 5 ³	
	BEYOND 3'-6" OF CORNER	WITHIN 3'-6" OF CORNER	BEYOND 3'-6" OF CORNER	WITHIN 3'-6" OF CORNER
10 sq. ft.	48.42 / -52.44 PSF	48.42 / -44.56 PSF	46.28 / -50.31 PSF	46.28 / -40.27 PSF
20 sq. ft.	46.28 / -49.06 PSF	46.28 / -51.76 PSF	46.02 / -51.76 PSF	46.02 / -47.76 PSF
30 sq. ft.	44.13 / -48.17 PSF	44.13 / -53.98 PSF	44.13 / -53.98 PSF	44.13 / -49.98 PSF
40 sq. ft.	42.98 / -47.47 PSF	42.98 / -54.61 PSF	42.98 / -54.61 PSF	42.98 / -50.61 PSF
50 sq. ft.	41.29 / -46.33 PSF	41.29 / -55.31 PSF	41.29 / -55.31 PSF	41.29 / -51.31 PSF
100 sq. ft.	41.29 / -46.33 PSF	41.29 / -55.31 PSF	41.29 / -55.31 PSF	41.29 / -51.31 PSF

WALL/CLADDING PRESSURE NOTES:

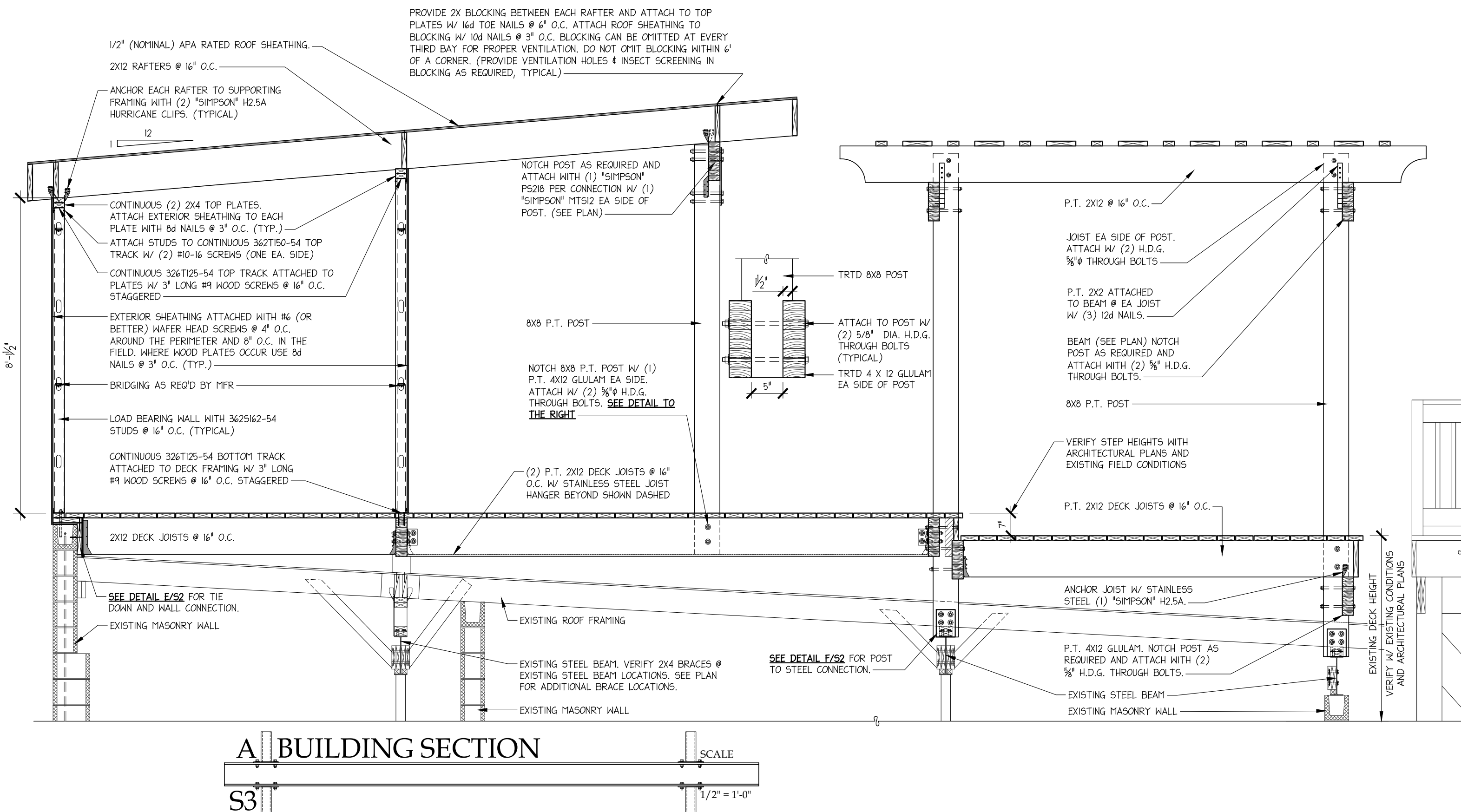
- AREA TO BE DETERMINED BY (SPAN) DIVIDED BY 3 OR ACTUAL TRIBUTARY LENGTH, WHICHEVER IS GREATER.
- WALL PRESSURES SHOULD BE USED TO DETERMINE REQUIRED DESIGN PRESSURES FOR DOORS & WINDOWS AS WELL AS IN THE DESIGN OF FINISH MATERIAL AND ATTACHMENTS.
- INTERPOLATION OF VALUES IS PERMITTED.
- IF ANY PORTION OF A DOOR OR WINDOW IS IN ZONE 5, THE WHOLE UNIT MUST MEET ZONE 5 PRESSURES.
- DESIGN PRESSURES SHOWN IN TABLE ARE STRENGTH DESIGN WIND PRESSURES. ALLOWABLE STRESS DESIGN WIND PRESSURES MAY BE CALCULATED BY MULTIPLYING TABLE PRESSURES BY 0.9.
- DEFLECTIONS MAY BE CALCULATED BASED ON 42% OF THESE LOADS OR (0.7 X ALLOWABLE STRESS DESIGN PRESSURES).

STRUCTURAL TIMBER & HARDWARE NOTES:

- LUMBER SHALL BE AS FOLLOWS: #2 KD SOUTHERN YELLOW PINE (OR BETTER) FOR PLATES, HEADERS, JOISTS, AND RAFTERS. STUDS MAY BE SPRUCE PINE FIR #2 KD (OR BETTER). IF OTHER SPECIES OF WOOD ARE USED, THEN HURRICANE CLIPS AND HANGERS MAY NEED TO BE INCREASED IN SIZE.
- ALL NAIL SIZES AND NUMBER REQUIRED MAY NOT BE SHOWN. SUFFICIENT NAILING SHALL BE REQUIRED TO DEVELOP JOINT STRENGTH.
- ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A653 AS APPLICABLE. ALL JOIST HANGERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE "SIMPSON" Z-MAX GALVANIZED.
- LUMBER LESS THAN 4" ABOVE GROUND AND LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED CCA OR ACQ 0.25 LBS/CF NET RETENTION LUMBER IN CONTACT WITH GRADE SHALL BE PRESSURE TREATED CCA OR ACQ 0.4 LBS/CF NET RETENTION.
- LAMINATED VENEER LUMBER (LVL) SHALL BE AITC STRUCTURAL GLUED TIMBER, ARCHITECTURAL GRADE SOUTHERN YELLOW PINE "LOUISIANA PACIFIC" GANGLAM 250 FB-2.0F, "BOISE CASCADE" VERSA-LAM 300 FB, OR EQUAL. GLULAMS TO BE VISUALLY GRADED SOUTHERN PINE, 24F-V3 OR EQUAL. ALL GLULAMS TO BE BALANCED, U.N.O.
- USE ASTM A307 BOLTS WITH NUTS AND WASHERS FOR ALL TIMBER CONNECTIONS AND 1/4" NAILS FOR BEAM CONNECTIONS.

ADHESIVE ANCHOR NOTES:

- THE GROUT ADHESIVE MUST BE AS FOLLOWS:
SOLID OR FILLED MASONRY & CONCRETE:
* HILTI HVA ADHESIVE ANCHOR SYSTEM OR HILTI HIT 150 INJECTION ADHESIVE ANCHOR SYSTEM
* SIMPSON SET-XP HIGH STRENGTH EPOXY EQUIVALENT OR BETTER PRODUCT
- HOLLOW MASONRY:
* HILTI H202 ADHESIVE ANCHOR SYSTEM WITH HIT SCREEN TUBE AND DISPENSER.
* EQUIVALENT OR BETTER PRODUCT
* ONLY BOLT TO HOLLOW MASONRY WHEN SPECIFIED ON DRAWINGS.
- HOLES MUST BE DRILLED AND CLEANED PER ADHESIVE MANUFACTURER'S RECOMMENDATIONS. HOLES MUST BE BLOWN AND BRUSHED CLEAN. FAILURE TO PROPERLY CLEAN THE HOLES WILL COMPROMISE THE CAPACITY OF THE ANCHOR.
- THREADED RODS AND ANCHOR BOLTS MUST BE A36 STEEL OR BETTER. REBAR MUST BE ASTM A615 GRADE 60 STEEL OR BETTER.
- ALLOW PROPER SETTING AND CURING TIMES FOR THE ADHESIVE. THE ADHESIVE MANUFACTURER CAN SUPPLY GUIDELINES OR CONTACT OUR OFFICE.
- THE MINIMUM EMBEDMENT DEPTH FOR ADHESIVE GROUTED ANCHORS IN SOLID MATERIAL IS 4", U.N.O.



REVISION DATE INT
NO. DATE BY

18317 PROJECT NO.
06-5-2019 DATE
J.L.T. DRAWN BY
RENOVATION PROJECT DESCRIPTION
Carolina Beach, NC
5 Boardwalk
Hurricane Alley's

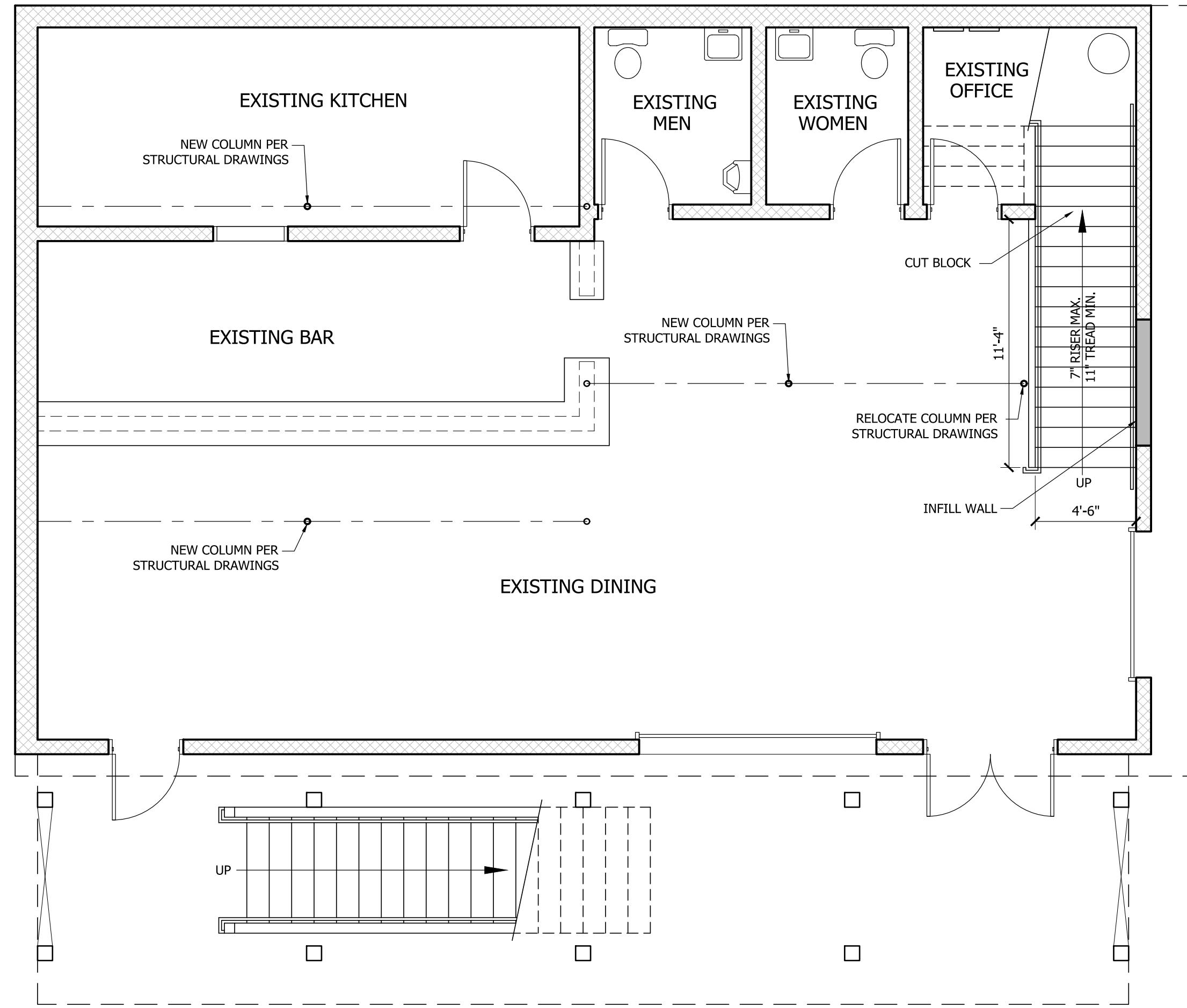
W.D.J. PERMANENT

NORTH CAROLINA PROFESSIONAL SEAL 025852
W.D. JONES
7/5/19

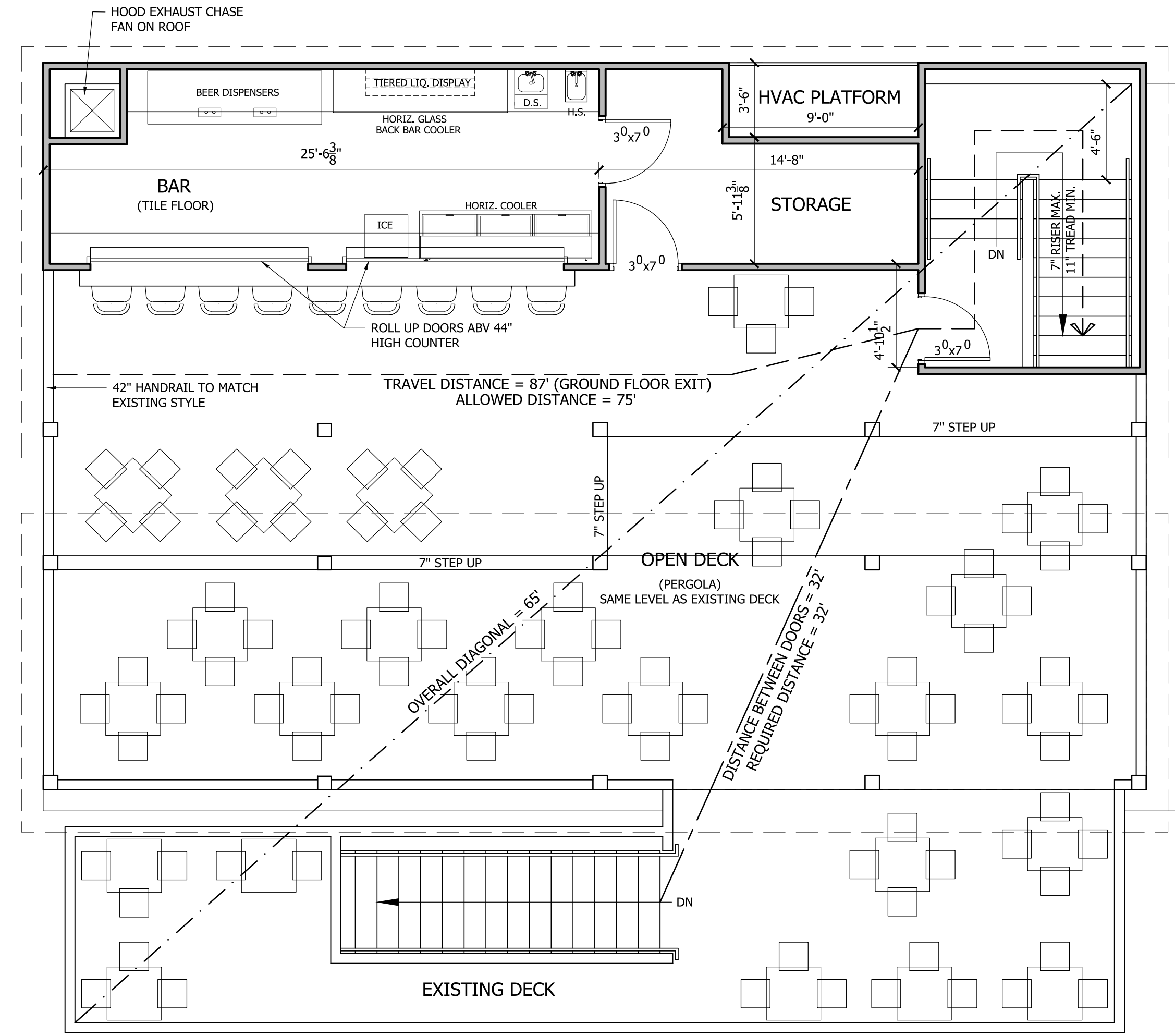
W.D. JONES ENGINEERING, PLLC CORPORATE SEAL P-1181 N.C.

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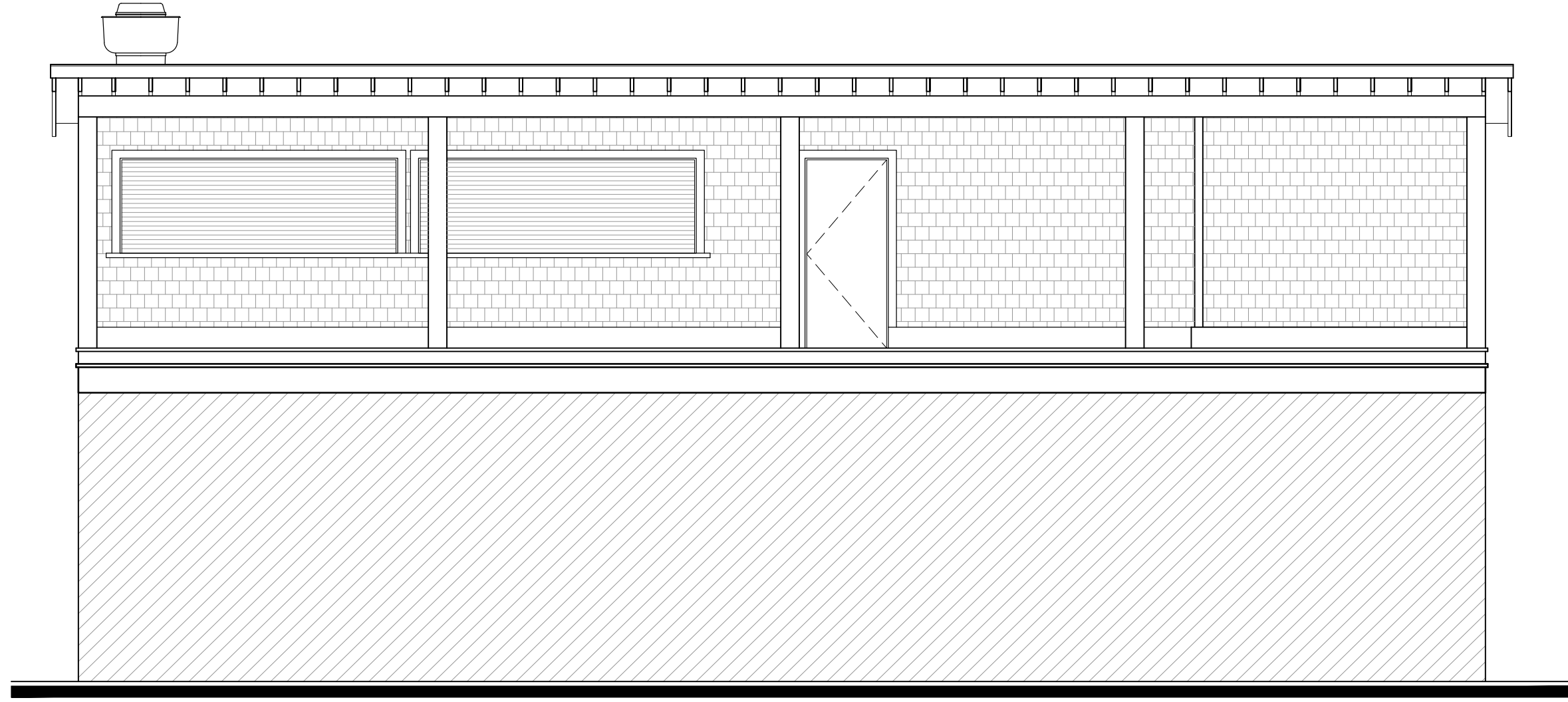
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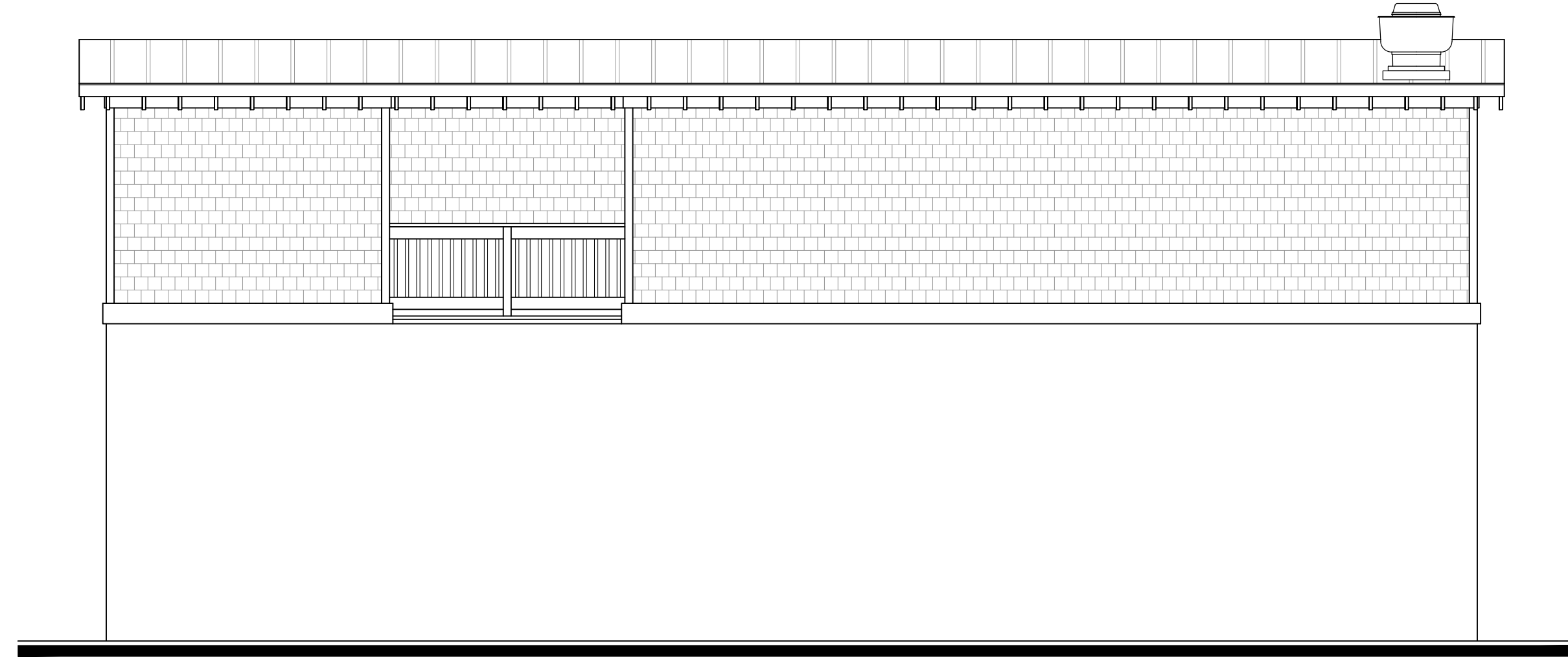
A **NEW FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



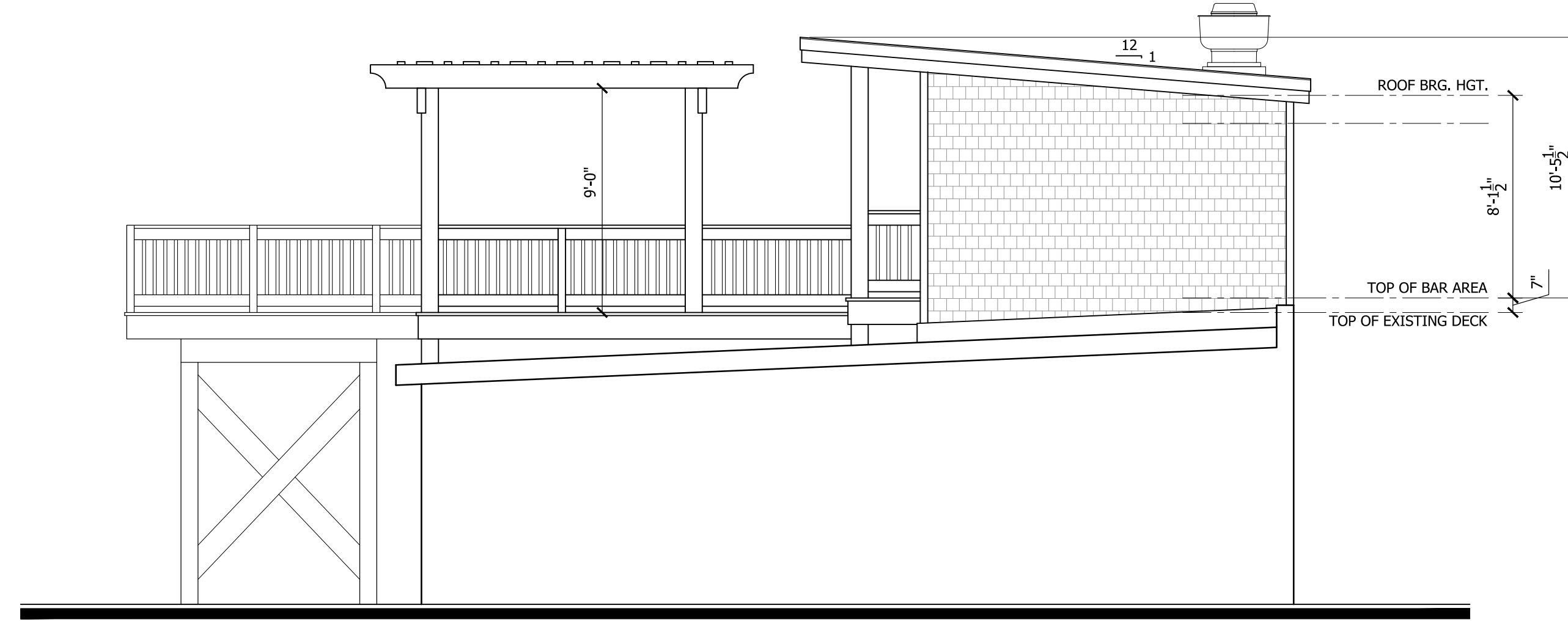
B **NEW SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



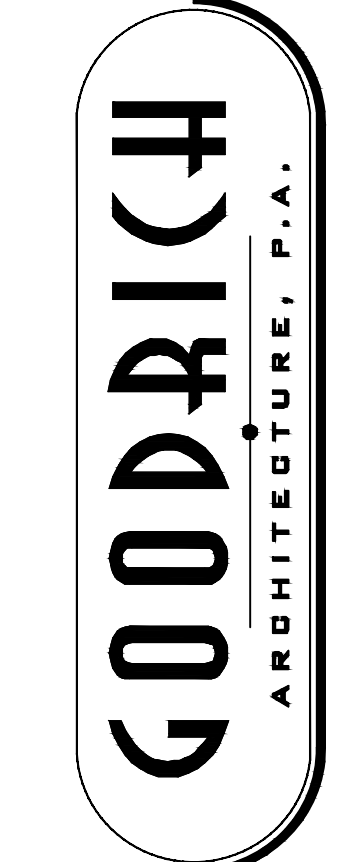
A OCEAN ELEVATION
SCALE: 1/4" = 1'-0"



B REAR ELEVATION
SCALE: 1/4" = 1'-0"



C RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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HURRICANE ALLEY'S
ALTERATION
5 BOARDWALK
CAROLINA BEACH, NORTH CAROLINA
PROJECT # 19001
ELEVATIONS

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE:
7 JUNE 2019
REVISIONS:

A3.1



AGENDA ITEM

Meeting: Planning and Zoning - 08 Aug 2019

Prepared By: Jeremy Hardison

Department: Planning

Text Amendment – Considering amending Article IX. - Development Standards For Particular Uses, Mixed use commercial-residential regulations to review the commercial sq. ft. requirement when located in a V-floodzone. Applicant: Jeff Stokley

BACKGROUND:

The applicant, Jeff Stokley applied for a text amendment to the minimum 50% of commercial space requirement for the first habitable floor in a mixed-use building. A mixed-use building contains residential and commercial uses in the same structure. Mixed-use buildings are allowed in commercial zoning districts. The idea is two have commercial space on the ground floor or first habitable space (for elevated buildings) with residential units above. The current ordinance was clarified in 2015 for how much commercial space had to be devoted to a mixed use building. The current ordinance requires 50% of the building footprint to be devoted to commercial space. The remaining portion of the building could be used for parking, storage, or entryway to the residential units above.

The proposed ordinance would reduce the 50% commercial requirement to 25% of the footprint would then have to be devoted to commercial space for just properties that are located in the V flood zone. There are two types of flood zones an AE and V zone. The AE is subject to raising water and commercial buildings have the option to flood proof. In the V-zone properties cannot be flood proofed and have to be elevated due to high velocity wave action. The current floodmaps went into effect in August 2018. The new maps reduced the number of V-zone properties. It completely removed the “boardwalk” properties, but some adjacent commercial oceanfront properties are still in the V-zone. There are 25 V-zone properties that are split between the V-zone and AE floodzone (see attached map). Because of the difficulties with providing commercial space on the ground floor due to V-zone regulations, the applicant is proposing to reduce the minimum sq. ft. of commercial space for these properties.

ACTION REQUESTED:

Recommend to adopt the amendment that it is in accordance with provisions of north Carolina General Statute. It is consistent with goals and objectives of the adopted land use plan and other long range plans and in the public interest.

**COMMITTEE
RECOMMENDATION:**

Staff recommends approval of Article IX to allow for a reduction of the commercial space for V-zone properties to 25% for Mixed use buildings.

ATTACHMENTS:

[Proposed Amendment
Parcels in VE and T1 CBD](#)

ARTICLE IX. - DEVELOPMENT STANDARDS FOR PARTICULAR USES

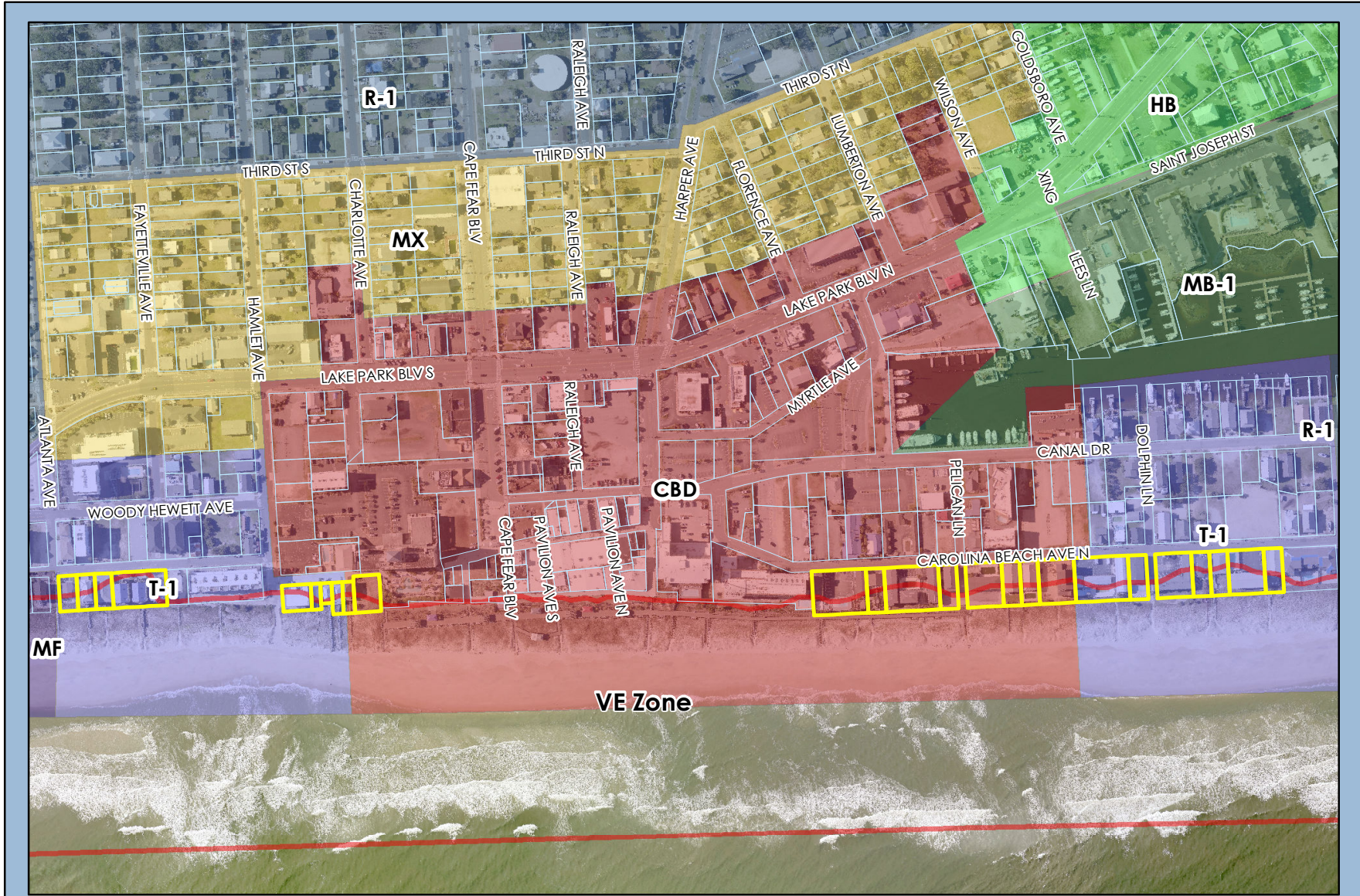
Sec. 40-261. - Development standards for particular uses.

(s) *Mixed use commercial-residential.* The purpose of the mixed use commercial-residential development is to accommodate mixed use buildings that preserve and limit the ground floor or first habitable floor to commercial uses with either commercial and/or residential uses allowed above. Development is encouraged that exhibits physical design characteristics that include storefronts oriented to pedestrian movement with a decreased reliance on vehicles.

(1) The first habitable floor shall be limited to:

- a. A commercial building and use.
- b. [In an AE flood zone the commercial use shall occupy at least 50 percent of the building footprint.](#)
- c. [In a VE flood zone the commercial use shall occupy at least 25 percent of the building footprint.](#)

(2) Mixed use commercial-residential developments located in the CBD shall have the building's front facade and at least one ingress/egress located adjacent to a public right-of-way.



VE Zone Commercial Properties

